



CITY OF TALENT • COMMUNITY DEVELOPMENT

PO Box 445, Talent, Oregon 97540
Phone: (541) 535-7401 Fax: (541) 535-7423 www.cityoftalent.org

GENERAL LAND USE APPLICATION

Project Description: 9160 SQ FT RETAIL BLDG.
Property Owner: LAUREN D. YOUNG
Mailing Address: 3825 N. UMPQUA HWY. ROSEBURG, OR. 97470
Phone: 541-672-6745
Street Address: W. VALLEY VIEW RD., OR.
Email Address: TJ@LAURENYOUNGTIRE.COM
Applicant/Consultant: Mailing Address: 2355 E. CAMELBACK RD. #315 PHOENIX, AZ 85016
Phone: 602-824-9712

Table with 4 columns: Assessor's Map Number, Tax Lot Number, Acres, Zone. Row 1: 38-1W-SEC. 23, 1-0818057, 0.7 AC, MH/PD. Row 2: 38-1W-

Subzone (if applicable)

Pre-Application Meeting Completed? [X] Yes [ ] No [ ] N/A Date Completed: 7/29/15

Type of Application (check all boxes that apply)

Form with two columns of checkboxes for application types: Site Development Plan Review, Variance, Conditions Modification, Annexation, Accessory Dwelling Unit, Appeal, Conditional Use Permit, Home Occupation, Code Interpretation, Comprehensive Plan Amendment, Comprehensive Plan Map/Zoning Map Change, Development Code Amendment.

APPLICATION DEPOSITS (Application fees are calculated by ACTUAL PROCESSING COSTS)

I hereby certify that the statements and information contained in this application, including the enclosed drawings and the required findings of fact, are in all respects, true and correct. I understand that all property pins must be shown on the drawings and visible upon the site inspection. In the event the pins are not shown or their location is found to be incorrect, the owner assumes full responsibility.

Applicant's Signature: [Handwritten Signature]
Property Owner's Signature (required): [Handwritten Signature]

Date: 2/9/16
Date: 2-9-2016





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PO Box 445, Talent, Oregon 97540
Phone: (541) 535-7401 Fax: (541) 535-7423 www.cityoftalent.org

GENERAL LAND USE APPLICATION

Project Description: 9100sq. Ft. RETAIL BLDG. Parking Lot
Property Owner: LAUREN D. YOUNG
Mailing Address: 2825 N. UMPIQUA HWY. ROSELBURG, OR 97470
Street Address: W. VALLEY VIEW RD., OR.
Email Address: TJ@LAURENYOUNG.TIRE.COM
Applicant/Consultant: Mailing Address: 2355 E. CAMELBACK RD. #315 PHOENIX, AZ. 85016 Phone: 602-834-9712

Table with 4 columns: Assessor's Map Number (Township, Range, Section, Quarter Section), Tax Lot Number, Acres, Zone. Row 1: 38-1W-SEC. 23, 1-0860355, 1.02 AC, G-3 CBH. Row 2: 38-1W-

Subzone (if applicable)

Pre-Application Meeting Completed? [X] Yes [ ] No [ ] N/A Date Completed: 7/29/15

Type of Application (check all boxes that apply)

Grid of application types with checkboxes: Site Development Plan Review (checked), Variance, Conditions Modification, Annexation, Accessory Dwelling Unit, Appeal (flat fee), Conditional Use Permit, Home Occupation, Code Interpretation, Comprehensive Plan Amendment (text), Comprehensive Plan Map/Zoning Map Change, Development Code Amendment.

APPLICATION DEPOSITS (Application fees are calculated by ACTUAL PROCESSING COSTS)

I hereby certify that the statements and information contained in this application, including the enclosed drawings and the required findings of fact, are in all respects, true and correct. I understand that all property plns must be shown on the drawings and visible upon the site inspection. In the event the plns are not shown or their location is found to be incorrect, the owner assumes full responsibility.

Applicant's Signature: [Signature]
Property Owner's Signature (required): [Signature]

Date: 2/9/16
Date: 2-9-2016

**APPLICATION FEES & DEPOSITS**

Fees and deposits are intended to cover the full cost for processing applications. Applicants seeking development which requires more than one type of review (such as site plans and conditional use permits) must pay all applicable fees and deposits.

**Application Deposits:** Certain application fees are represented by a deposit amount. Applicants shall be charged for actual processing costs incurred by the City. The actual costs charged to the City for technical review of land use applications, including but not limited to City's planning, public works, engineering, administration, legal, wetland specialists, geologists, biologists, arborist, and any other services provided in processing applications, shall be charged to Applicant, at the rate(s) charged to the City. In addition, the actual costs of preparing and mailing notices to abutting property owners or others required to be notified, the costs of publishing notices in newspapers, and any other mandated costs shall be charged to applicant. Any additional costs incurred beyond the deposit amount shall be charged to and paid by the applicant on a monthly basis. The applicant agrees that any deficiencies shall be collected from applicant, and that applicant's failure to pay these amounts triggers the City's option to pursue any or all remedies, as listed below.

**Fixed Fee Applications:** Fees are non-refundable and are based on average application processing costs rounded to the nearest dollar.

Applicant acknowledges and agrees that Applicant's failure to pay City costs over the deposit fee amounts, as charged monthly by the City, may result in the City pursuing any or all legal remedies available, including but not limited to liting property in the amount owed; prosecution for violation of the City's current fee resolution and City land development or division ordinances; Issuance of a stop work order, non-issuance of building permits for property, or cessation of related proceedings; set-off against any reimbursement owed; and turning amounts owed over to a collection agency.

Applicant's Signature [Signature] Date 2/9/16

Property Owner's Signature (required) [Signature] Date 2-9-2016

I hereby acknowledge that my applications may be consolidated. When an applicant applies for more than one type of land use or development permit (e.g., Type-II and III) for the same one or more parcels of land, the proceedings shall be consolidated for review and decision. If more than one approval authority would be required to decide on the applications if submitted separately, then the decision shall be made by the approval authority having original jurisdiction over one of the applications in the following order of preference: (1) City Planner, (2) the Planning Commission, and (3) the City Council. Joint meetings between governing bodies may be held to streamline the decision process.

Applicant's Signature [Signature] Date 2/9/16

Property Owner's Signature (required) [Signature] Date 2-8-2016

FOR OFFICE USE ONLY			
Deposit Paid (Amount):	Date:	Received By:	File Number:
\$ 1332.00	2/18/16	JW	202 2016 - 004 <del>002</del>

( 1036 )  
( + 296 ) CONSOLIDATES

In compliance with the Americans with Disabilities Act, if you need special assistance, please contact TTY phone number 1-800-735-2900 for English and for Spanish please contact TTY phone number 1-800-735-3896.

*The City of Talent is an Equal Opportunity Provider*

## ASSET



February 18, 2016

Zac Moody  
City of Talent  
Community Development  
P.O. Box 445  
Talent, OR 97540

RE: Site Development Plan  
Dollar General at West Valley View Road

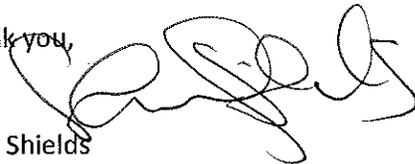
Mr. Moody

Embree Asset Group, Inc. would like to formally submit the Site Development Plan for review with the City of Talent for a proposed commercial project located on West Valley View Road. It is our intention to construct a 9,100 sq. ft. commercial building and parking on parcel one and associated parking on parcel two as shown on the attached site plan. Please see below the list of items submitted with this letter and the code criteria:

1. General Land Use Application for both parcels, signed by owner and applicant
2. Check for fees - \$1,332.00 #505426
3. Site Plan for each parcel - Ten (10) Copies
4. Color Building Elevations - Ten (10) Copies
5. Landscape Plan - Ten (10) Copies
6. Code criteria addressed below

Thank you in advance for your prompt attention to this submittal, If you have any questions or need any additional information, please contact me at [jshields@embreegroup.com](mailto:jshields@embreegroup.com) or 602-824-9712.

Thank you,



John Shields  
Sr. Design Manager  
Embree Asset Group, Inc.

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Page 1 of 3

## ASSET



### Code Criteria:

#### Section 8-3D.4 Central Business Highway Zone

The project falls within the "Buildings and uses permitted subject to type-3 site development plan review". This is a 9,100 Sq. Ft. retail sales building and per section 8-3D.440 will require the site development plan review and public hearing process.

#### Section 8-3H.2 Flood-Parks-Greenway

The site is adjacent to a flood zone on the northeast portion of parcel two. There is no planned development to this portion of parcel two. There will be no disturbance of the existing natural grades in this area, so the flood zone will not be impacted by this development. This site is not adjacent to a greenway.

#### Section 8-3J.1 General Provisions

This proposed building location meets the building set back requirements as described in Section 8-3J.121. The proposed Dollar General building has an overall building height of 21', which is below the 30' maximum building height requirement. The buffering requirement will be addressed with a 6' wood fence to screen this site from the adjacent residential homes.

#### Section 8-3J.3 Fences and Hedges

As stated above this site will provide a 6' wood fence to screen the site from adjacent properties and the residential homes to the east.

#### Section 8-3J.4 Trees and Landscaping

The attached landscape plans demonstrate that the site will conform to section 8-3J.4 for on-site and off-site (Public) landscaping. The site currently is vacant and does have four existing trees at the southwest corner of the site that would require the need for a tree preservation plan.

#### Section 8-3J.5 Off Street Parking

As provided in section 8-3J.5 table 540-1 Parking requirements by use. This site will use 1 space per 400 Sq. Ft. of gross floor area. For the 9,100 Sq. Ft. proposed retail building this will be 23 parking spaces required. The proposed site plan shows 23 parking spaces provided on parcel one. Parcel two will provide 7 additional parking spaces on its own. Since the proposed retail building is less than 10,000 Sq. Ft. no loading space is required for this site. As provided in section 8-3J.5 table 540-2 "Minimum number of accessible parking spaces ". The site has a total of 30 parking spaces including both parcels. This would require 1 accessible parking space. The proposed site plan provides two accessible parking spaces. With a total of 30 parking spaces the proposed site will provide three bicycle parking spaces.

#### Section 8-3J.6 Access, Circulation and Street Improvements

The site will utilize the existing curb cut on West Valley View Road. The site plan proposes to reconstruct the east curb of the drive to make the drive transition smoother than the existing condition. West Valley View Road has existing improvements including curb, gutter and

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## ASSET



sidewalk that will not need to be revised or updated. There is also adequate right-of-way on West Valley View Road so no additional right-of-way will be required to be dedicated. The site plan accommodates pedestrian access to the existing public sidewalk located along West Valley View Road. The internal circulation is achieved with 30' wide access drives and 9' by 20' parking spaces.

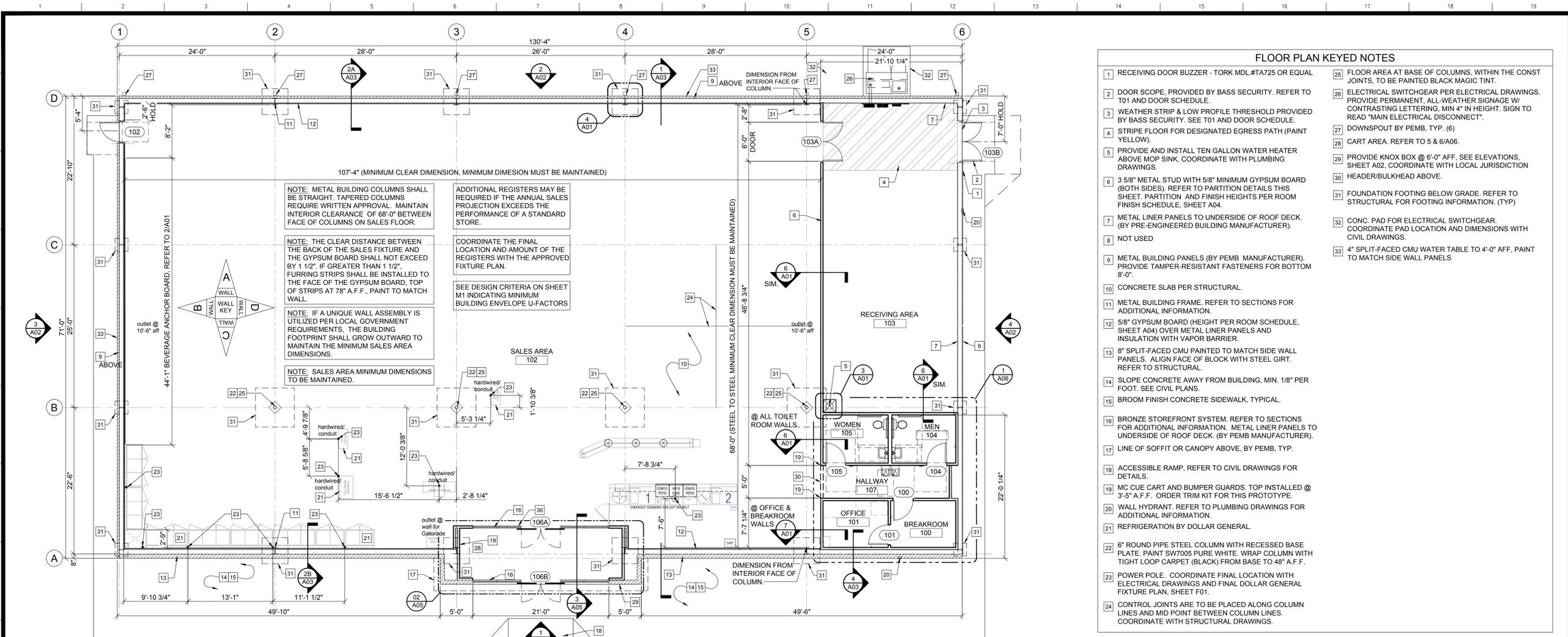
### Section 8-3J.7 Signs

Dollar General understands that a separate sign permit is required for this site. Proposed signs and signage requirements will be addressed during the sign permit submittal.

### Section 8-3L.150 Required Findings for approval of Plan

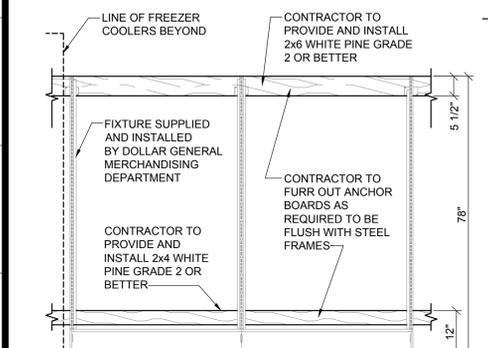
- a. Provisions of Title 8, Chapter 3 are complied with;
- b. The proposed development will be in conformance with the intent and objectives of the zone in which it will be located;
- c. Applicable portions of the City comprehensive plan are complied with;
- d. The proposed development will be compatible with or adequately buffered from other existing uses of land in the surrounding area;
- e. That no wastes, other than normal water runoff, will be conducted into City storm facilities;
- f. The following are arranged so that traffic congestion is avoided, pedestrian and vehicular safety, solar access, historic sites, and the public welfare and safety are protected, and there will be no adverse effect on surrounding property:
  1. buildings, structures, and improvements;
  2. vehicular and pedestrian ingress and egress, and internal circulation;
  3. parking and loading facilities;
  4. setbacks and views from structures;
  5. walls, fences, landscaping and street and shade trees
  6. lighting and signs; and
  7. noise generation facilities and trash or garbage depositories.
- g. This site does not require any street and other public facility and service improvements and is in conformance with the standards and improvements set forth in title 8, chapter 3.

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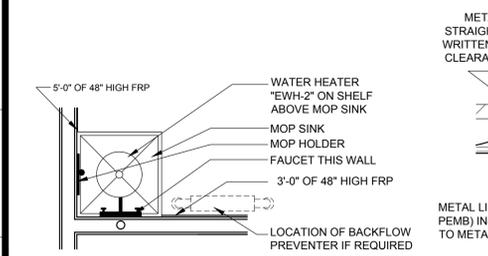


- ### FLOOR PLAN KEYED NOTES
- RECEIVING DOOR BUZZER - TORK MDL #TA725 OR EQUAL TO 1 AND DOOR SCHEDULE.
  - DOOR SCOPE, PROVIDED BY BASS SECURITY. REFER TO T01 AND DOOR SCHEDULE.
  - WEATHER STRIP & LOW PROFILE THRESHOLD PROVIDED BY BASS SECURITY. SEE T01 AND DOOR SCHEDULE.
  - STRIP FLOOR FOR DESIGNATED EGRESS PATH (PAINT YELLOW).
  - PROVIDE AND INSTALL TEN GALLON WATER HEATER ABOVE MOP SINK, COORDINATE WITH PLUMBING DRAWINGS.
  - 3 5/8" METAL STUD WITH 5/8" MINIMUM GYPSUM BOARD (BOTH SIDES). REFER TO PARTITION DETAILS THIS SHEET. PARTITION AND FINISH HEIGHTS PER ROOM FINISH SCHEDULE, SHEET A04.
  - METAL LINER PANELS TO UNDERSIDE OF ROOF DECK. (BY PRE-ENGINEERED BUILDING MANUFACTURER).
  - NOT USED
  - METAL BUILDING PANELS (BY PEMB MANUFACTURER). PROVIDE TAMPER-RESISTANT FASTENERS FOR BOTTOM 8'-0".
  - CONCRETE SLAB PER STRUCTURAL.
  - METAL BUILDING FRAME. REFER TO SECTIONS FOR ADDITIONAL INFORMATION.
  - 5/8" GYPSUM BOARD (HEIGHT PER ROOM SCHEDULE, SHEET A04) OVER METAL LINER PANELS AND INSULATION WITH VAPOR BARRIER.
  - 8" SPLIT-FACED CMU PAINTED TO MATCH SIDE WALL PANELS. ALIGN FACE OF BLOCK WITH STEEL GIRT. REFER TO STRUCTURAL.
  - SLOPE CONCRETE AWAY FROM BUILDING, MIN. 1/8" PER FOOT. SEE CIVIL PLANS.
  - BROOM FINISH CONCRETE SIDEWALK, TYPICAL.
  - BRONZE STOREFRONT SYSTEM. REFER TO SECTIONS FOR ADDITIONAL INFORMATION. METAL LINER PANELS TO UNDERSIDE OF ROOF DECK. (BY PEMB MANUFACTURER).
  - LINE OF SOFFIT OR CANOPY ABOVE, BY PEMB, TYP.
  - ACCESSIBLE RAMP, REFER TO CIVIL DRAWINGS FOR DETAILS.
  - MC CUE CART AND BUMPER GUARDS. TOP INSTALLED @ 3'-5" A.F.F. ORDER TRIM KIT FOR THIS PROTOTYPE.
  - WALL HYDRANT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
  - REFRIGERATION BY DOLLAR GENERAL.
  - 6" ROUND PIPE STEEL COLUMN WITH RECESSED BASE PLATE. PAINT SW7005 PURE WHITE. WRAP COLUMN WITH TIGHT LOOP CARPET (BLACK) FROM BASE TO 48" A.F.F.
  - POWER POLE. COORDINATE FINAL LOCATION WITH ELECTRICAL DRAWINGS AND FINAL DOLLAR GENERAL FIXTURE PLAN, SHEET F01.
  - CONTROL JOINTS ARE TO BE PLACED ALONG COLUMN LINES AND MID POINT BETWEEN COLUMN LINES. COORDINATE WITH STRUCTURAL DRAWINGS.
  - FLOOR AREA AT BASE OF COLUMNS, WITHIN THE CONST JOINTS, TO BE PAINTED BLACK MAGIC TINT.
  - ELECTRICAL SWITCHGEAR PER ELECTRICAL DRAWINGS. PROVIDE PERMANENT, ALL-WEATHER SIGNAGE W/ CONTRASTING LETTERING. MIN 4" IN HEIGHT. SIGN TO READ "MAIN ELECTRICAL DISCONNECT".
  - DOWNSPOUT BY PEMB, TYP. (6)
  - CART AREA. REFER TO 5 & 6/A06.
  - PROVIDE KNOX BOX @ 8'-0" AFF. SEE ELEVATIONS, SHEET A02, COORDINATE WITH LOCAL JURISDICTION DRAWINGS.
  - HEADER/BULKHEAD ABOVE.
  - METAL LINER PANELS TO UNDERSIDE OF ROOF DECK. (BY PRE-ENGINEERED BUILDING MANUFACTURER).
  - CONC. PAD FOR ELECTRICAL SWITCHGEAR. COORDINATE PAD LOCATION AND DIMENSIONS WITH CIVIL DRAWINGS.
  - 4" SPLIT-FACED CMU WATER TABLE TO 4'-0" AFF. PAINT TO MATCH SIDE WALL PANELS

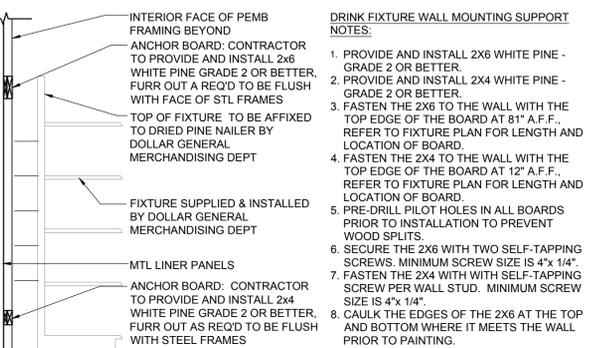
**1 FLOOR PLAN**  
SCALE: 1/8"=1'-0"



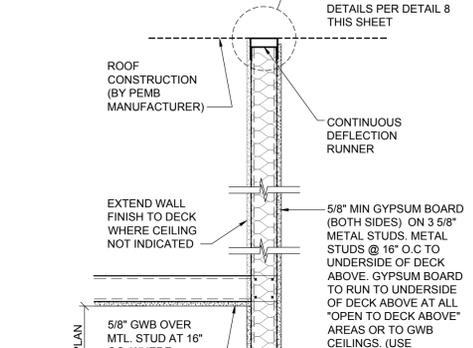
**2 ANCHOR BOARD DETAIL**  
SCALE: 1/2"=1'-0"



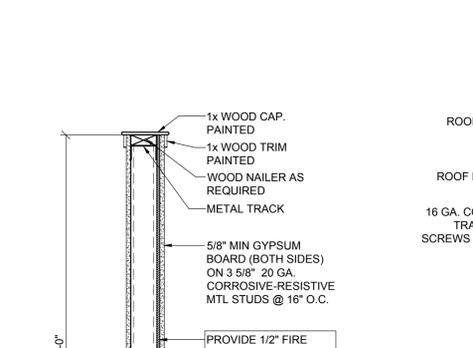
**3 MOP SINK DETAIL**  
SCALE: 1/2"=1'-0"



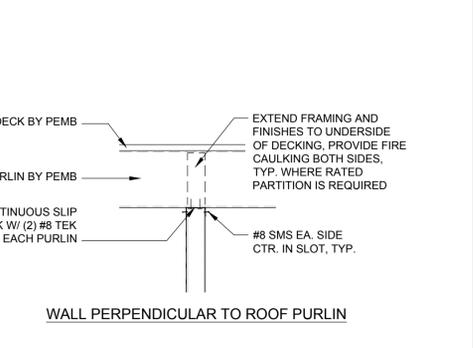
**4 DETAIL AT COLUMN**  
SCALE: 1/2"=1'-0"



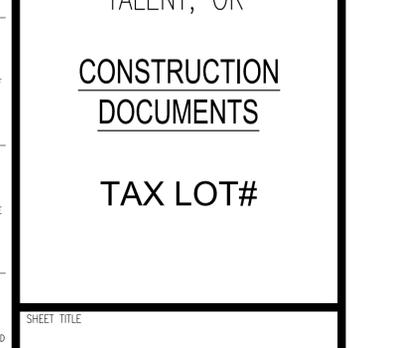
**5 NOT USED**  
SCALE: 1/2"=1'-0"



**6 TYPICAL PARTITION**  
SCALE: 1"=1'-0"



**7 PARTITION-OFFICE & BREAKROOM**  
SCALE: 1"=1'-0"



**8 PARTITION ATTACHMENT TO PEMB**  
SCALE: 1"=1'-0"

**TPC Architects, Inc.**  
A Full Service Architectural Practice  
2260 Douglas Blvd, Suite 155  
Roseville, CA 95661  
(916) 772-4100  
Fax: (916) 772-7804

**EMBREE**  
Asset Group, Inc.

These drawings are instruments of service and are the property of TPC Architects, Inc. All designs and other information on the drawings are for the use on the specified project and shall not be used otherwise without the expressed written permission of TPC Architects, Inc.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimension and conditions on the job site, and this office shall be notified of any variations from the dimensions and conditions as shown on these drawings.

© Copyrighted.

This drawing is not final, and is not to be used for construction until the Architect's seal and signature appear to the right.

**DANIEL M. KINNOIN**  
REGISTERED ARCHITECT  
ROSEVILLE, CA 95662  
STATE OF OREGON

**DOLLAR GENERAL**  
WEST VALLEY VIEW RD.  
TALENT, OR

**CONSTRUCTION DOCUMENTS**

TAX LOT#

SHEET TITLE

**FLOOR PLAN, DETAILS & INTERIOR PARTITIONS**

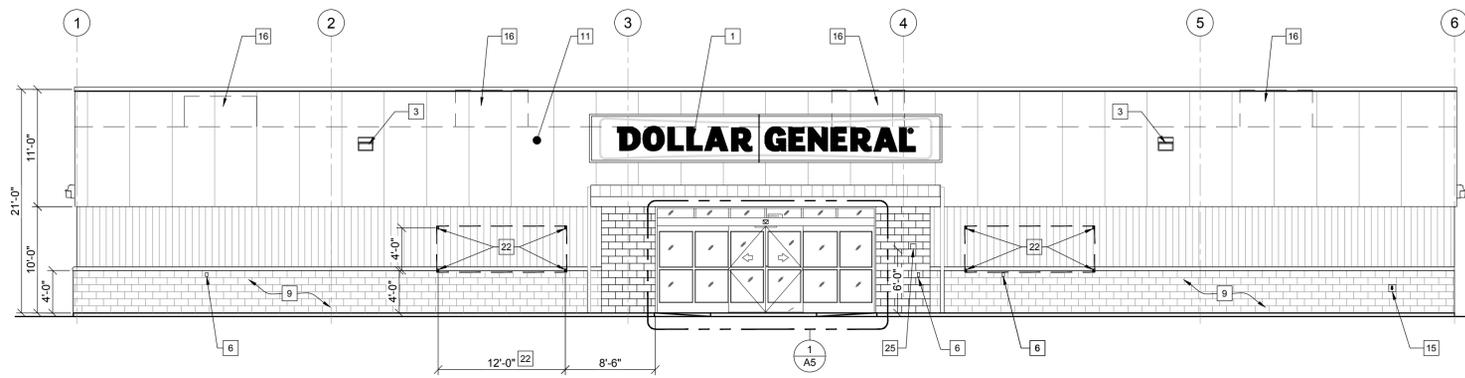
MARK	DESCRIPTION	DATE
Project Manager	KIRK MILLER	
Project Architect	KIRK MILLER	
Scale	AS NOTED	
Date	02/09/2016	
TPC Project	1544	

SHEET NO.

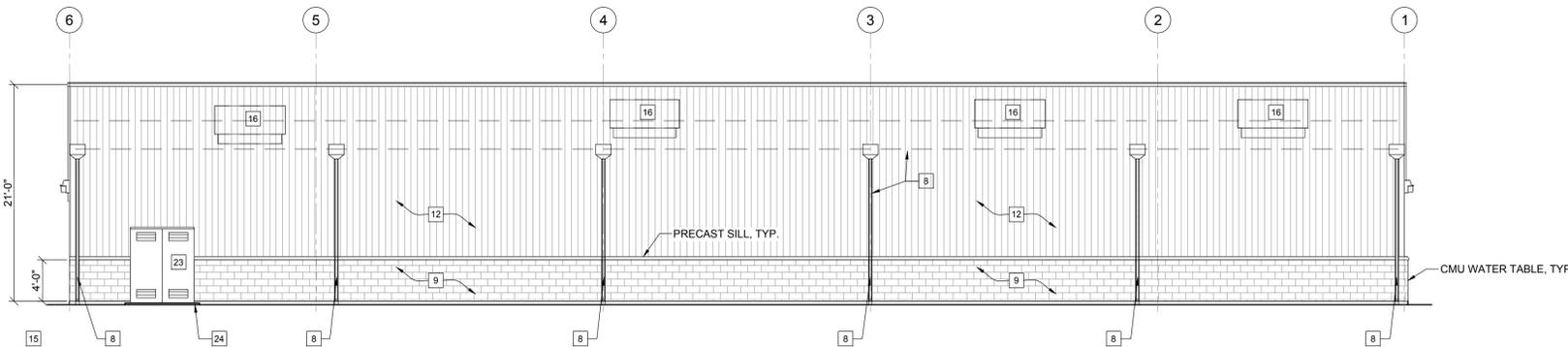
**A01**

2015 PROTOTYPE SERIES

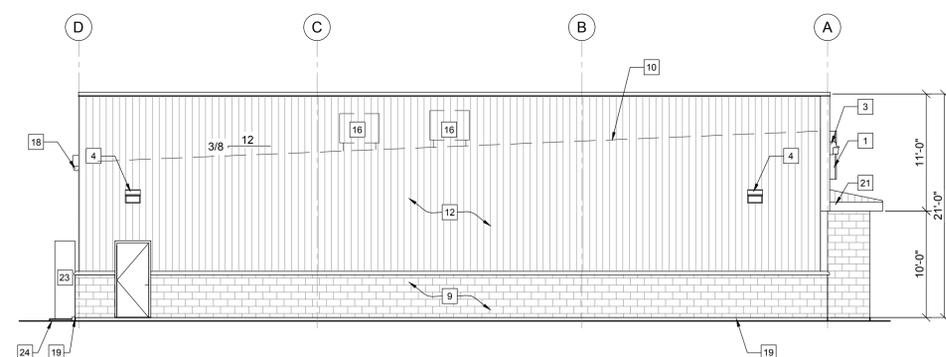
A01.DWG PLOTTED 2/4/2016



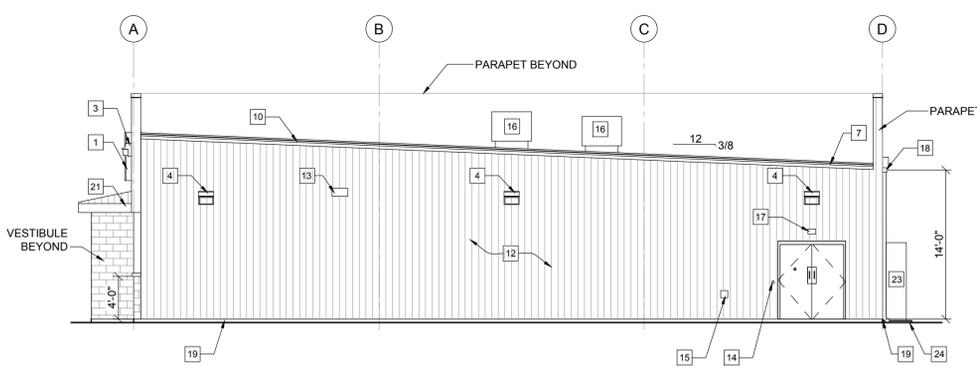
1 FRONT ELEVATION  
A02 SCALE: 1/8"=1'-0"



2 REAR ELEVATION  
A02 SCALE: 1/8"=1'-0"



3 LEFT ELEVATION  
A02 SCALE: 1/8"=1'-0"



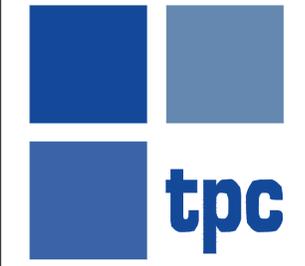
4 RIGHT ELEVATION  
A02 SCALE: 1/8"=1'-0"

ELEVATION KEYED NOTES

- 1 SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF THE CANOPY. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- 2 NOT USED.
- 3 WALL PACK 16'-6" A.F.F. TO TOP OF WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 4 WALL PACK 12'-0" A.F.F. TO TOP OF WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 5 WALL PACK (ALTERNATE PARKING LIGHT) REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. REQUIRED ONLY IF THERE IS PARKING THIS SIDE OF BUILDING.
- 6 RECEPTACLE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 7 TRIM - SEE EXTERIOR FINISH SCHEDULE FOR COLOR.
- 8 GUTTER AND DOWNSPOUT - SEE EXTERIOR FINISH SCHEDULE FOR COLOR. SEE 2A/A03 FOR TERMINATION DETAILS.
- 9 SPLIT FACE CONCRETE MASONRY UNIT. PAINT TO MATCH SIDE WALL PANELS.
- 10 STANDING SEAM METAL ROOF PER FINISH SCHEDULE THIS SHEET.
- 11 PRE-FINISHED METAL WALL PANELS, REVERSE RIB PROFILE. SEE EXTERIOR FINISH SCHEDULE FOR COLOR.
- 12 PRE-FINISHED METAL WALL PANELS. PROVIDE TAMPER-RESISTANT FASTENERS FOR BOTTOM 8'-0". SEE EXTERIOR FINISH SCHEDULE FOR COLOR.
- 13 VENT FOR BATHROOM EXHAUST. REFER TO M01 FOR ADDITIONAL INFORMATION.
- 14 DOOR BUZZER. REFER TO E01 FOR ADDITIONAL INFORMATION.
- 15 WALL HYDRANT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 16 HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 17 OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
- 18 MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
- 19 FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON PAVED AREAS.
- 20 NOT USED.
- 21 METAL CANOPY BY PRE-ENGINEERED METAL BUILDING MANUFACTURER. (ONLY APPLICABLE TO C & D PROTOTYPES)
- 22 1/2" DIAMETER x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.
- 23 ELECTRICAL SWITCHGEAR - PROVIDE PERMANENT, ALL-WEATHER SIGNAGE W/ CONTRASTING LETTERING, MIN 4" IN HEIGHT. SIGN TO READ "MAIN ELECTRICAL DISCONNECT".
- 24 CONCRETE PAD FOR ELECTRICAL SWITCHGEAR, COORDINATE PAD LOCATION AND DIMENSIONS WITH CIVIL DRAWINGS AND UTILITY SERVICE PROVIDER.
- 25 PROVIDE KNOX BOX AT 6'-0" AFF. CONTRACTOR TO VERIFY EXACT LOCATION WITH FIRE DEPARTMENT.

EXTERIOR FINISHES	PRE-ENGINEERED METAL BUILDING VENDOR					NUCOR BUILDING SYSTEMS ATTN: BOB BARRY (315) 622-4440 (260) 837-7891				
	LIGHTSTONE	MEDIUM BRONZE KYNAR 500	BRONZE	POLAR WHITE	GALVALUME					
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEMS FINISH SELECTION.										
GUTTERS	•									
DOWN SPOUTS	•									
SIDE AND REAR METAL WALL PANELS & TRIM, RECEIVING & EMERGENCY EXIT DOORS (EXTERIOR OF DOORS TO BE PAINTED, REFER TO DOOR SCHEDULE)	•									
ARCHITECTURAL BLOCK AT BUILDING FACADE SHOULD BE PRE-FINISHED OR PAINTED (2 COATS-LOKON XP MASONRY COATING A24W400 SERIES) TO MATCH THE METAL WALL PANELS	•									
FLAT METAL SOFFIT AT STOREFRONT VESTIBULE AREA				•						
BUILDING PARAPET WALL AND CANOPY		•								
STOREFRONT SYSTEM				•						
STANDING SEAM METAL ROOF PANELS									•	
LINER PANELS (INTERIOR SALES FLOOR)										•

NOTE:  
1. REFER TO SHEET T01 FOR ADDITIONAL INFORMATION ON RECOMMENDED NATIONAL ACCOUNT VENDORS.  
2. NATIONAL ACCOUNT AND CONTACT INFORMATION SUBJECT TO CHANGE.



TPC Architects, Inc.  
A Full Service Architectural Practice  
2260 Douglas Blvd, Suite 155  
Roseville, CA 95661  
(916) 772-4100  
Fax: (916) 772-7804



These drawings are instruments of service and are the property of TPC Architects, Inc. All designs and other information on the drawings are for the use on the specified project and shall not be used otherwise without the expressed written permission of TPC Architects, Inc.  
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimension and conditions on the job site, and this office shall be notified of any variations from the dimensions and conditions as shown on these drawings.

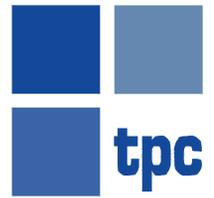
This drawing is not final, and is not to be used for construction until the Architect's seal and signature appear to the right.  
REGISTERED ARCHITECT  
DANIEL M. KINNOIN  
ROSEVILLE, CA 95626  
STATE OF OREGON

DOLLAR GENERAL  
WEST VALLEY VIEW RD.  
TALENT, OR  
  
CONSTRUCTION DOCUMENTS  
  
TAX LOT#

SHEET TITLE  
EXTERIOR ELEVATIONS,  
EXTERIOR FINISHES

MARK	DESCRIPTION	DATE
	Project Manager KIRK MILLER	
	Project Architect KIRK MILLER	
	Scale AS NOTED	
	Date 02/09/2016	
	TPC Project   Proto. 1544   D	

SHEET NO.  
**A02**  
2015 PROTOTYPE SERIES



TPC Architects, Inc.  
A Full Service Architectural Practice  
2260 Douglas Blvd, Suite 155  
Roseville, CA 95661  
(916) 772-4100  
Fax: (916) 772-7804

DOLLAR GENERAL  
TALENT, CA  
WEST VALLEY VIEW ROAD

DESIGN REVIEW

DATE: 2/9/2016

COLORED  
ELEVATIONS

A-DR1

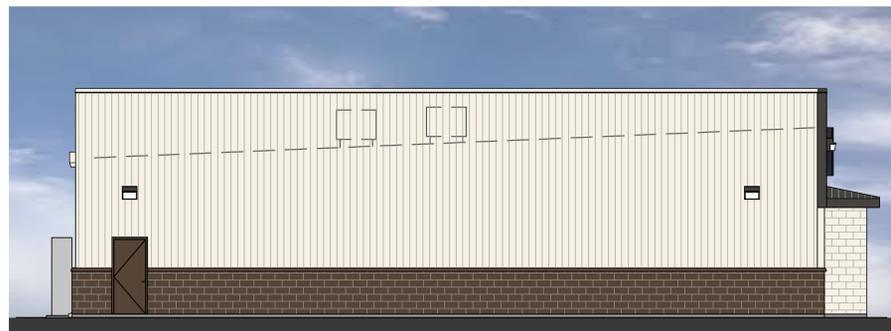
1544 A-DR1.DWG PLOTTED 2/4/2016



1 ELEVATION - EAST  
1/8" = 1'-0"



2 ELEVATION - WEST  
1/8" = 1'-0"



3 ELEVATION - SOUTH  
1/8" = 1'-0"



4 ELEVATION - NORTH  
1/8" = 1'-0"

LEGEND

-  METAL WALL PANEL
-  FRONT FASCIA PANEL
-  8X8X16 CONCRETE MASONRY UNIT:  
SPLIT FACE

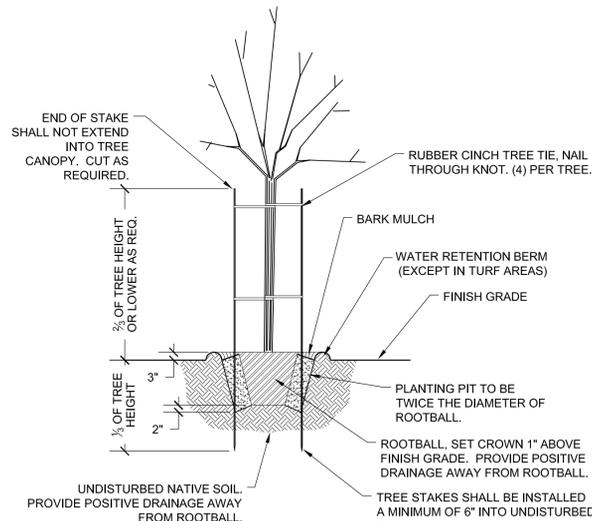
WEST VALLEY VIEW ROAD WEST OF OAK VALLEY DRIVE, TALENT, OREGON 97540

## PLANTING NOTES

1. PLANTING SHALL CONFORM TO CITY REQUIREMENTS FOR LANDSCAPE SITE DEVELOPMENT.
2. PROVIDE MINIMUM SLOPE OF 1 1/2% FOR POSITIVE DRAINAGE AWAY FROM CENTER IN ALL PLANTED AREAS.
3. THE PLANT QUANTITIES SHOWN ON THE DRAWINGS ARE INFORMATIONAL ONLY. THE CONTRACTOR IS RESPONSIBLE FOR FINAL QUANTITIES REQUIRED TO COMPLETE THE WORK. IN CASE OF DISCREPANCY, THE PLAN SHALL GOVERN.
4. ALL TREES SHALL BE PLANTED A MINIMUM OF 5' FROM UNDERGROUND UTILITIES.
5. ALL EXISTING TREES SHALL BE PROTECTED FROM DAMAGE OR INJURY. NO PARKING OR STACKING OF CONSTRUCTION MATERIAL IS ALLOWED WITHIN THE DRIFLINE OF AN EXISTING TREE.
6. IMMEDIATELY AFTER AWARD OF CONTRACT, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF SPECIFIED PLANT MATERIAL IS AVAILABLE FROM COMMERCIAL NURSERIES. IN THE EVENT THAT A PLANT IS NOT AVAILABLE, THE LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES WILL NOT ALTER THE CONTRACTOR'S ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
7. THE CONTRACTOR SHALL ENSURE THAT ALL EXCAVATED PLANT PITS HAVE POSITIVE DRAINAGE. PLANT PITS SHALL BE FULLY FILLED WITH WATER AND SHALL DRAIN WITHIN ONE (1) HOUR OF FILLING. THE CONTRACTOR SHALL EXCAVATE THROUGH ANY IMPERVIOUS LAYER IF ENCOUNTERED.
8. ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z601 'STANDARD FOR NURSERY STOCK'.
9. ROOT BARRIERS SHALL BE PROVIDED FOR ALL TREES WITHIN 5' OF ANY CURB AND/OR HARDSCAPE PAVEMENT.
10. ALL NON-TURF AND NON-BIOSWALE PLANTER AREAS SHALL RECEIVE A 3" LAYER OF BARK MULCH.
11. THE CONTRACTOR SHALL PROVIDE A SOILS REPORT PREPARED BY A QUALIFIED SOILS SPECIALIST AND SUBMIT TO THE OWNER FOR FINAL APPROVAL. SOILS SAMPLES SHALL BE COLLECTED AFTER ROUGH GRADING OPERATIONS AND PRIOR TO THE INSTALLATION OF PLANT MATERIAL. SOIL SAMPLES SHALL BE SUFFICIENTLY NUMEROUS TO ACCOUNT FOR ANY SOIL VARIATIONS THAT MAY BE PRESENT ON THE SITE. THE FOLLOWING MINIMUM ITEMS SHALL BE INCLUDED IN THE ANALYSIS:
  - A. INFILTRATION RATE.
  - B. SOIL TEXTURE.
  - C. CATION EXCHANGE CAPACITY.
  - D. SOIL FERTILITY INCLUDING TESTS FOR NITROGEN, POTASSIUM, PHOSPHOROUS, PH, ORGANIC MATTER AND SPECIFIC CONDUCTANCE (E.C.).
12. PRIOR TO PLANTING, SOIL AMENDMENTS SHALL BE ADDED PER RECOMMENDATIONS OF THE SOILS REPORT. SOIL AMENDMENTS SHOWN ON THE PLANS ARE TO BE USED FOR BIDDING PURPOSES ONLY. THE RESULTS OF THE SOILS TESTS THE CONTRACTOR PERFORMS SHALL DETERMINE ACTUAL AMENDMENTS.

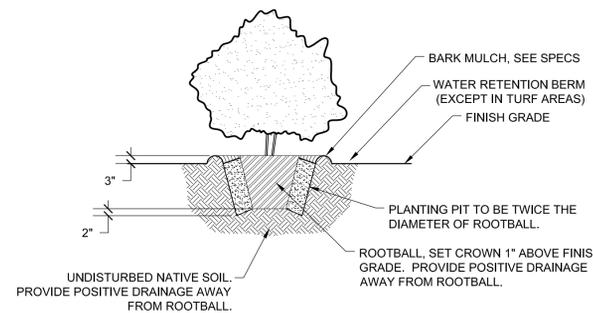
## PLANT LEGEND

SYM	BOTANICAL/ COMMON NAME	SIZE	QTY	REMARKS
<b>TREES</b>				
	ACER RUBRUM 'OCTOBER GLORY' / RED MAPLE	15 GAL	6	35'x35' - FAST GROWTH
	CEDRUS DEODARAE/DEODAR CEDAR	15 GAL	9	20'x40' - MODERATE GROWTH
<b>SHRUBS</b>				
	ABELIA EDWARD GOUCHER/ ABELIA	5 GAL	--	
	CAREX EVERGOLD/ SEDGE	1 GAL	--	
	CISTUS PURPURUS/ ROCKROSE	5 GAL	--	
	HEMEROCALLIS 'STELLA DE ORO' / DAYLILY	1 GAL	--	
	PHORMIUM 'YELLOW WAVE' / FLAX	5 GAL	--	
<b>LAWN</b>				
	PREMIUM PERENNIAL RYEGRASS-SUPPLIED BY OREGON TURF AND TREE FARMS (800) 426-1335, OR APPROVED EQUAL			SOD



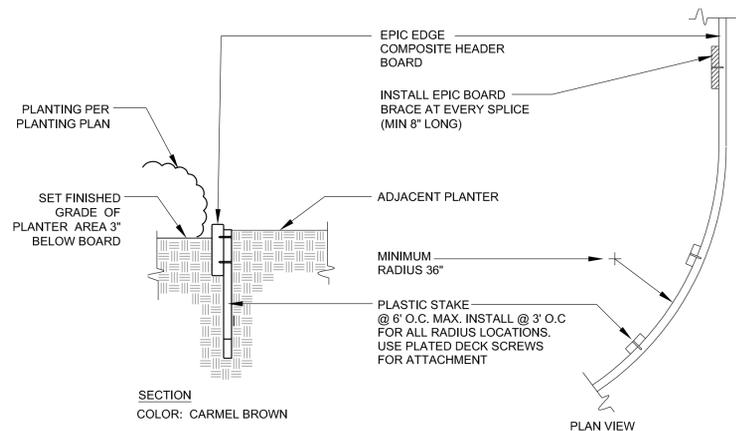
A- TREE PLANTING DETAIL

NTS



B- SHRUB PLANTING DETAIL

NTS



C- LANDSCAPE EDGING

NTS

TREE SHADOW PATTERNS, TYP

WOOD GATE

BARK MULCH

WOOD FENCE

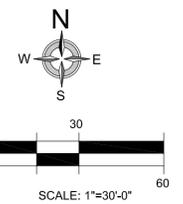
BUILDING SHADOW PATTERNS, TYP

EXISTING TREES ON ADJACENT PROPERTY TO REMAIN

PROPOSED DOLLAR GENERAL RETAIL STORE

WEST VALLEY VIEW ROAD

NORTHERN PORTION OF SITE TO REMAIN UNDISTURBED



## PRELIMINARY LANDSCAPE PLAN

FEBRUARY 18, 2016



EMBREE ASSET GROUP  
4747 WILLIAMS DRIVE  
GEORGETOWN, TEXAS 75833  
PH: (512) 819-4700  
FAX: (512) 959-3442



LANDSCAPE ARCHITECTURE  
306 Canyon Falls Dr. Folsom, CA 95630  
ph/fax 916.989.3372 www.mslandesign.com



SHEET

P1

OF

TOTAL

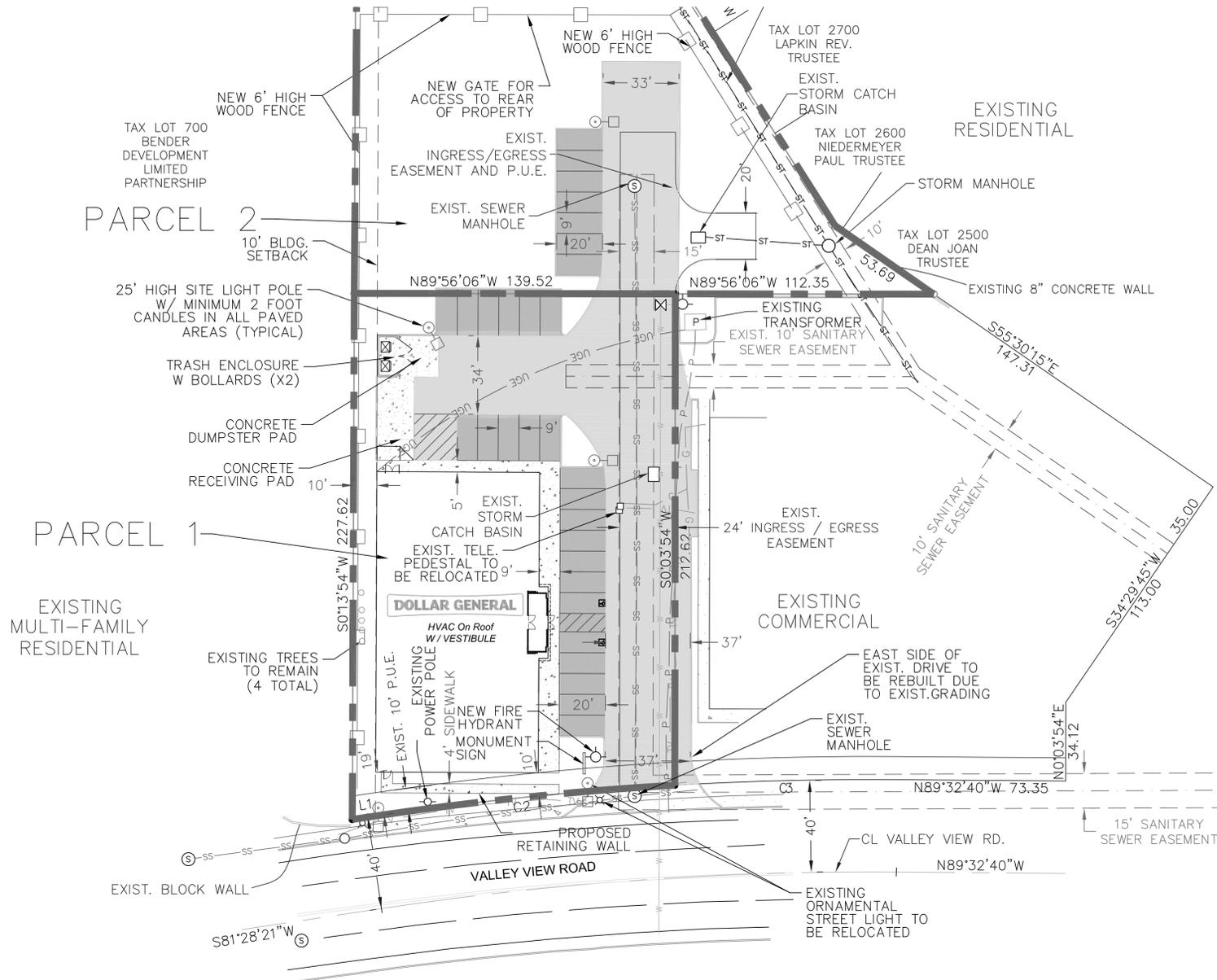
1

CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C2	5°13'19"	134.20	1472.40	S84°05'00"W	134.15
C3	3°45'41"	96.66	1472.40	S88°34'30"W	96.64

LINE TABLE

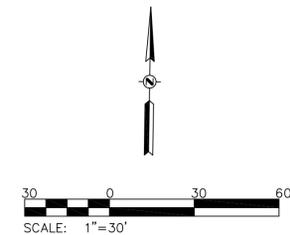
NUM	BEARING	DISTANCE
L1	N81°28'21"E	6.84



LEGEND

- = FIRE HYDRANT
- = WATER VALVE
- = POWER METER & UTILITY BOX
- = TELEPHONE/CABLE TV RISER
- = ANCHOR POLE
- = SANITARY SEWER CLEANOUT
- = SANITARY SEWER MANHOLE
- = STORM MANHOLE
- = STORM DRAIN CATCHBASIN
- = SITE LIGHTING
- = FENCE (AS NOTED)
- = SANITARY SEWER LINE
- = STORM SEWER LINE
- = POWER LINE
- = GAS LINE
- = CABLE/TV LINE
- = WATER LINE

NOTE:  
SEE LANDSCAPE PLANS FOR  
PROPOSED LANDSCAPE DESIGN



SITE DATA	
BUILDING SQUARE FOOTAGE=	9,100 S.F.
BUILDING HEIGHT=	21 FEET AT PARAPET
SITE AREA=	1.72AC/75,027.7SF
PARCEL 2 =	1.02AC/44,403.1SF
PARCEL 1 =	0.70AC/30,624.6 SF
PARKING=	30 SPACES PROVIDED
1 SPACE PER 400 S.F.	23 SPACES REQUIRED
PARCEL 2 =	7 SPACES
PARCEL 1 =	23 SPACES
FLOOD_ZONE=	ZONE X.

**SITE DEVELOPMENT PLAN**  
**PARCEL 1**  
**DOLLAR GENERAL - TALENT, OR. (VALLEY VIEW)**

NAME OF APPLICANT: EMBREE ASSET GROUP  
 2355 E. CAMELBACK RD.  
 SUITE # 315  
 PHOENIX, AZ. 85016  
 APPLICANT'S ADDRESS  
 ASSESSOR'S PARCEL # 01-0818057

DRAWN BY RROSSELLI	CHECKED BY
ISSUE DATE 02.17.2016	DRAWING NUMBER 1 OF 2

**SITE DEVELOPMENT PLAN**  
**PARCEL 2**  
**DOLLAR GENERAL - TALENT, OR. (VALLEY VIEW)**

NAME OF APPLICANT: EMBREE ASSETT GROUP  
 2355 E. CAMELBACK RD.  
 SUITE # 315  
 PHOENIX, AZ. 85016

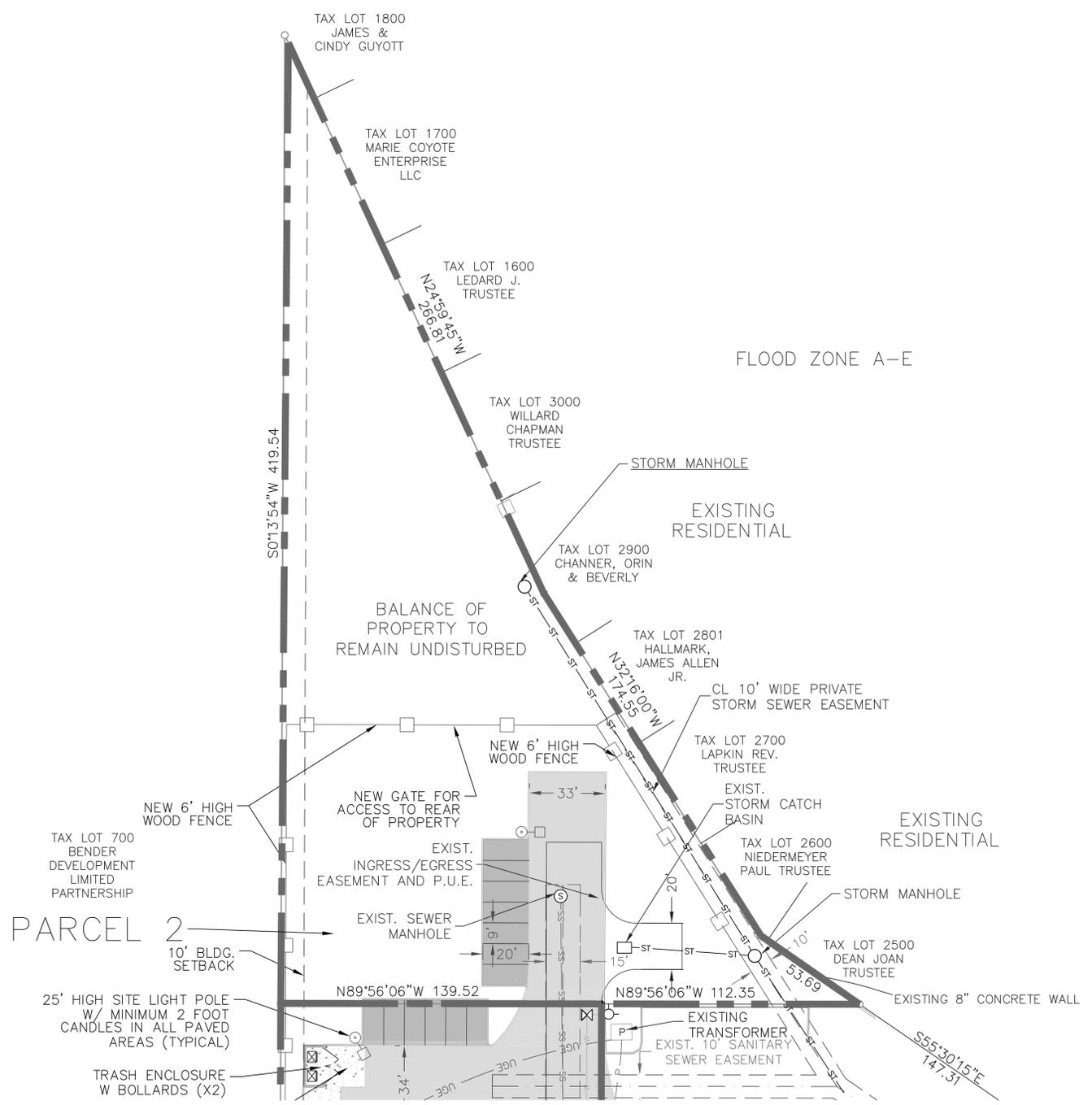
APPLICANTS ADDRESS: EMBREE ASSETT GROUP  
 2355 E. CAMELBACK RD.  
 SUITE # 315  
 PHOENIX, AZ. 85016

ASSESSOR'S PARCEL # 01-0860355

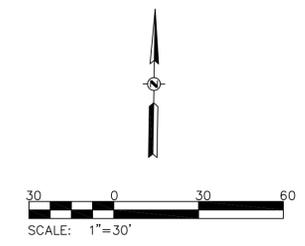
**EMBREE**  
 Asset Group, Inc.

DRAWN BY: RROSSELLI  
 CHECKED BY:  
 ISSUE DATE: 02.17.2016  
 DRAWING NUMBER: 2 OF 2

- LEGEND**
- = FIRE HYDRANT
  - = WATER VALVE
  - = POWER METER & UTILITY BOX
  - = TELEPHONE/CABLE TV RISER
  - = ANCHOR POLE
  - = SANITARY SEWER CLEANOUT
  - = SANITARY SEWER MANHOLE
  - = STORM MANHOLE
  - = STORM DRAIN CATCHBASIN
  - = SITE LIGHTING
  - = FENCE (AS NOTED)
  - = SANITARY SEWER LINE
  - = STORM SEWER LINE
  - = POWER LINE
  - = GAS LINE
  - = CABLE/TV LINE
  - = WATER LINE



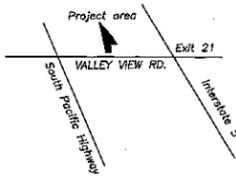
NOTE:  
 SEE LANDSCAPE PLANS FOR  
 PROPOSED LANDSCAPE DESIGN



ALTA ACSM  
LAND TITLE SURVEY  
of  
105 VALLEY VIEW ROAD  
located in the  
SOUTHEAST QUARTER OF SECTION 23,  
TOWNSHIP 38 SOUTH, RANGE 1 WEST,  
WILLAMETTE MERIDIAN, IN THE CITY OF TALENT  
JACKSON COUNTY, OREGON

for  
**EMBREE ASSET GROUP, INC**  
2355 CAMELBACK ROAD, STE 315  
PHOENIX, ARIZONA 85016

Vicinity Map  
No Scale

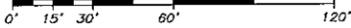


NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	8°30'00"	224.58	1432.40	S88°37'20"W	224.36
C2	57°33'00"	134.20	1472.40	S84°05'00"W	134.15
				S84°01'00"W	
C3	3°45'41"	86.66	1472.40	S88°34'30"W	86.64
C4	90°00'00"	23.56	15.00	S45°03'54"W	21.21
C5	80°00'00"	23.56	15.00	S44°58'06"E	21.21
C6	0°39'41"	17.00	1472.40	S86°21'48"W	17.00
C7	0°56'10"	24.05	1472.40	S86°13'35"W	24.05

NUM	BEARING	DISTANCE
L1	N81°28'21"E	6.84
	(N81°24'30"E)	
L2	S89°56'06"E	20.00
L3	S0°03'54"W	20.00
L4	S89°56'06"E	20.00
L5	S0°03'54"W	20.00
L6	S89°56'06"E	20.00
L7	N89°56'06"W	150.00
L8	N3°21'00"W	188.26
L9	S85°30'19"E	135.23
L10	N0°06'19"E	7.50
L11	N0°06'19"E	260.00
L12	S88°46'35"W	258.62
L13	N1°19'30"E	80.00
L14	N0°06'19"E	2.12

BASIS OF BEARING IS  
TRUE NORTH, NAD  
83/91 DATUM, AS  
DERIVED BY GLOBAL  
POSITIONING SYSTEM  
OBSERVATIONS.

SCALE: 1" = 30'



SURVEYOR'S STATEMENT

To Lauren D. Young, Trustee for Lauren Young Tire Center, Inc., Profit Sharing Trust, DG Retail, LLC., Dollar General Corporation, DG-Talent, OR-1-UT, LLC., Embree Asset Group, Inc., & Tior Title Company of Oregon, Bank 18B.

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adapted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(a), 8, 9, 11(b), 14, 17, 19, and 21 of Table A thereof. The field work was completed on December 31, 2015.

Date of Plot or Map: January 04, 2016.

*Herbert A. Farber*  
Herbert A. Farber, PLS 2189

TITLE NOTES

Tior Title Company of Oregon Order No. 470315041529-TTJA04, Dated July 09, 2015, 8:00 A.M.

ALL VOLUME AND PAGES ARE DEED RECORDS AND ALL INSTRUMENTS No.'s ARE OFFICIAL RECORDS OF JACKSON COUNTY UNLESS OTHERWISE STATED.

Item No. 1 through 10 and 14 through 16, in the General and Special Exceptions are not survey related items.

Item No. 11, A Deferred Improvement Agreement, including the terms and provisions thereof

Recording Date: May 27, 1992  
Recording No.: 92-15276  
Affects: Blanket Agreement, affecting Parcel, is not a survey related item.

Item No. 12, Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Purpose: Sewer Lines  
Recording Date: July 3, 1995  
Recording No.: 95-17603, 95-17604, and 95-17605  
Affects: The Southernly line of Parcel 1 and Parcel 2 as shown

Item No. 13, Easement(s) for the purpose(s) shown below and rights incidental thereto as delineated or as offered for dedication on the map of said tract/plot:

Purpose: Ingress and Egress, Private Storm Sewer, and Public Utilities  
Affects: Parcel 1 and Parcel 2 as shown on Partition Plot No. P-8-1995, and this map.

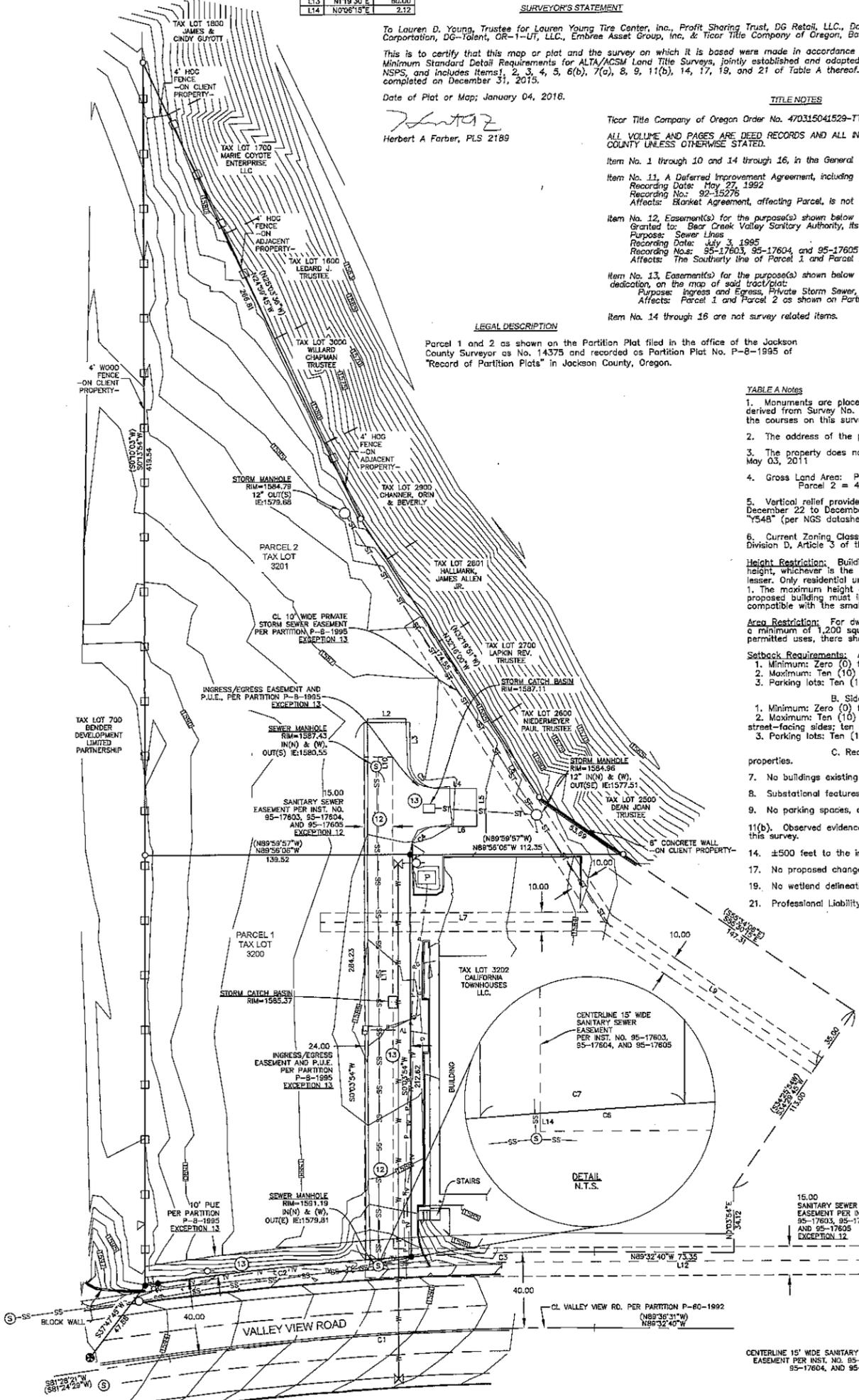
Item No. 14 through 16 are not survey related items.

LEGAL DESCRIPTION

Parcel 1 and 2 as shown on the Partition Plot filed in the office of the Jackson County Surveyor as No. 14375 and recorded as Partition Plot No. P-8-1995 of "Record of Partition Plots" in Jackson County, Oregon.

TABLE A Notes

- Monuments are placed at all major corners of the boundary of the property, as derived from Survey No. 14375 also known as Partition Plot No. P-8-1995. To convert the courses on this survey to record courses apply a theta angle of -00°03'51"
- The address of the property is 105 Valley View Rd, Talent OR
- The property does not lie in a Flood Hazard Zone - per FIRM 41029C2181F, dated May 03, 2011
- Gross Land Area: Parcel 1 = 30,624.6 sq. ft. = 0.70 acres  
Parcel 2 = 44,403.1 sq. ft. = 1.02 acres
- Vertical relief provided by terrestrial observations done by Farber Surveying from December 22 to December 31, 2015. The contour interval is 1 foot, using benchmark "Y548" (per NGS datasheet) on the NGVD 1929/56 datum.
- Current Zoning Classification is CBH (Highway Central Business District) per 8-3 Division D, Article 3 of the City of Talent Zoning Code.
- Height Restriction: Buildings over two-and-a-half (2½) stories or thirty (30) feet in height, whichever is the lesser. Only residential units are permitted above thirty (30) feet in height. The maximum height allowed through conditional use review is forty (40) feet. The proposed building must include site design and architectural elements such that it is compatible with the small town character of Talent.
- Area Restriction: For dwelling units above the ground floor of a business, there shall be a minimum of 1,200 square feet of total lot area for each dwelling unit. For all other permitted uses, there shall be no minimum lot size or lot width.
- Setback Requirements: A. Front yard.  
1. Minimum: Zero (0) feet.  
2. Maximum: Ten (10) feet for no more than 50 percent of the ground-floor width.  
3. Parking lots: Ten (10) feet, which shall be landscaped to provide screening.  
B. Side yard.  
1. Minimum: Zero (0) feet.  
2. Maximum: Ten (10) feet for no more than 50 percent of the ground-floor width on street-facing sides; ten (10) feet on alley-facing sides.  
3. Parking lots: Ten (10) feet, which shall be landscaped to provide screening.  
C. Rear yard. No rear yard is required between commercially zoned properties.
- No buildings existing on the surveyed property
- Substantial features shown on the face of this survey.
- No parking spaces, areas, lots, or structures existing on the surveyed property.
- Observed evidence together with underground utility locates shown on the face of this survey.
- ±500 feet to the intersection of Valley View Rd. with South Pacific Highway (SR 99)
- No proposed changes in street right-of-way lines at this time.
- No wetland delineation on the surveyed property.
- Professional Liability insurance in the minimum amount of \$1,000,000 in effect.



REGISTERED  
PROFESSIONAL  
LAND SURVEYOR  
*Herbert A. Farber*  
OREGON  
JULY 26, 1985  
HERBERT A. FARBER  
2189  
RENEWAL DATE 12-31-17

BASIS OF BEARING IS TRUE NORTH, NAD 83/91 DATUM, AS DERIVED BY GLOBAL POSITIONING SYSTEM OBSERVATIONS.  
RECORD SURVEY DATA IS SHOWN IN PARENTHESIS ADJACENT TO MEASURED SURVEY DATA WHERE APPLICABLE.  
INST. NO. = INSTRUMENT NUMBER AS RECORDED IN THE OFFICIAL RECORDS OF JACKSON COUNTY, OREGON.  
P.U.E. = PUBLIC UTILITY EASEMENT FOR WATER, SANITARY SEWER, STORM DRAIN, PHONE, GAS, AND CABLE TV.

- = FIRE HYDRANT
- ⊙ = FOUND 2 1/2" BRASS CAP - N.W. CORNER D.L.C. NUMBER 69
- = FOUND 5/8" IRON PIN, WITH YELLOW PLASTIC CAP L.J. FRIAR & ASSOC.
- = SET 5/8" x 24" IRON PIN w/ YELLOW PLASTIC CAP MARKED "FARBER PLS 2189"
- S/N = RECORD FILED SURVEY NUMBER
- I.E. = INVERT ELEVATION
- ⊠ = POWER METER & UTILITY BOX
- = TELEPHONE/CABLE TV RISER
- = ANCHOR POLE
- = SANITARY SEWER CLEANOUT
- = SANITARY SEWER MANHOLE
- = STORM MANHOLE
- = STORM DRAIN CATCHBASIN
- ⊠ = SITE LIGHTING
- ⊠ = TITLE REPORT EXCEPTIONS
- = FENCE (AS NOTED)
- SS— = SANITARY SEWER LINE
- ST— = STORM SEWER LINE
- P— = POWER LINE
- G— = GAS LINE
- W— = CABLE/TV LINE
- W— = WATER LINE
- = ASPHALT
- = CONCRETE

Surveyed by:  
FARBER & SONS, INC. dba  
**FARBER SURVEYING**  
PO BOX 5285  
431 OAK STREET  
CENTRAL POINT, OREGON 97502  
(541) 864-5599

DATE: JANUARY 14, 2016  
JOB NO.: 2424-15  
TALENT VALLEY VIEW 105 VALLEY VIEW EMBREE/MICROSURVEY  
FINAL PLATS SURVEYS/Embree Alta 011415.DWG  
DRAWN BY: HAF ORIG. DATE: 01-05-15 REVISED BY: MCF DATE: 01-14-16