



**City of Talent**  
**Architectural Review Committee**  
**Public Meeting**



**AGENDA**

Tuesday, January 21, 2014 - 6:00 PM

Talent City Hall, 110 E. Main Street  
 Main Conference Room

- I. Call to Order/Roll Call
- II. Approval of Minutes – January 15, 2013
- III. Public Comments on Non-Agenda Items
- IV. **160 N. Pacific Hwy.** *file no.* ARC 2013-003

Applicant .....Clearview Commercial  
 Proposal.....New Construction – Building H (6,304 ft<sup>2</sup>)  
 Background.....Construction of second commercial building as part of the  
 Clearview PUD approved September 2, 2005 and proposed Site  
 Plan Amendment SPR 2013-003 and Variance VAR 2013-001.  
 Requested Action.....After review and discussion, the Committee is requested to make  
 a motion, with or without attached conditions.  
 Expected Time .....15 minutes

- V. **2 Talent Ave.** *file no.* ARC 2013-004

Applicant .....Lisa Adams  
 Proposal.....Remodel of Existing Talent Lube building to an office Space.  
 Remodel will include new roofing, windows, entry and paint.  
 Background.....Formally used as an automobile lube shop, the building last went through Architectural  
 Requested Action.....After review and discussion, the Committee is requested to make  
 a motion, with or without attached conditions.  
 Expected Time .....15 minutes

- VI. Committee’s Open Discussion
- VII. Adjournment

Next Meeting: February 18, 2014

## MINUTES

City of Talent **Architectural Review Committee**—Regular Meeting

January 15<sup>th</sup>, 2013 — 6:00 PM

City Hall, Main Conference Room (Rm. 111)

### I. Call to Order/Roll Call

Chair Thirkill called the meeting to order at 6:00 PM.

Members Present: Linda Cade, Michael Thirkill, Joshua Tilley  
Members Absent: Jack Latvala, Jeffery Hale  
Staff Present: Mark Knox, City Planner and acting Minute Taker  
Others Present: None

Chair Thirkill asked if there were any items to be discussed that were not on the agenda. Hearing none, Chair Thirkill moved to the first item on the agenda.

### II. Grace Bible Church, 303 Main Street

*(file no. ARC 2013-01)*

**Applicant:** Tim Titus

**Proposal:** Partial replacement and retrofit of historic stained glass windows and replacement of non-historic windows.

The applicant, Tim Titus, discussed and apologized for actions completed prior to meeting with ARC. Mr. Titus explained that he had contacted George Kramer, a Historic Preservation Consultant, and Marla Cates of Talent Urban Renewal about the windows' retrofits and replacements. Titus explained that he would like to replace the non-historic aluminum frame windows with a metal wood clad window that are more energy efficient and better reflect the building's appearance.

Knox confirmed the applicant had attempted to complete research about the City process, but the City's Web Site isn't necessarily the most user-friendly site. Overall, the Knox stated the applicant's quick response and openness to work with Urban Renewal and George Kramer has resulted in a positive approach in dealing with the building.

Committee members Cade, Tilley and Chair Thirkill all agreed the proposal to replace the windows, including the lower half (yellow glass) of the larger stained-glass windows and the replacement of the smaller aluminum windows was a good idea for energy efficiency.

Committee member Tilley made a motion to approve the application as presented. Committee member Cade seconded. All approved.

Tim Titus briefly discussed the eventual idea of replacing the front door on the front of the church and working with Urban Renewal as the proposal moves forward. Chair Thirkill stated the proposal sounded positive and continued to encourage the contractor to work with both Urban Renewal and George Kramer.

**III. Adjournment**

There being no further business to come before the Committee, Chair Thirkill adjourned the meeting at 6:10 p.m.

Submitted by: \_\_\_\_\_

Date: \_\_\_\_\_

Attest:

\_\_\_\_\_  
Mark Knox, Secretary

\_\_\_\_\_  
Michael Thirkill, Chair



# REMODELING DESIGN REVIEW

3710.23 DC 2400

SITE ADDRESS: 160 N. PACIFIC HWY

DATE SUBMITTED: 12/18/13

SUBMITTED WITH FIVE (5) SETS OF PLANS  
SHOWING ALL ELEVATIONS, SITE PLAN, AND  
ARCHITECTURAL DETAILS (REDUCED PLANS ARE  
PREFERRED: 11" X 17" OR 8½" X 11")

FOR COMMITTEE USE ONLY:

Planning file no. ARC-13-008

Date Reviewed: \_\_\_\_\_

TALNO. \_\_\_\_\_ P S C  
NC(H) NH-NC

TARC REVIEW RESULT:

- Plans accepted
- Plans accepted with changes as noted
- Plans NOT accepted

SUBMITTED BY:  PROPERTY OWNER  REPRESENTATIVE OF PROPERTY OWNER

PROPERTY OWNER'S NAME: CLEARVIEW COMMERCIAL DEVELOPMENT

MAILING ADDRESS: 830 O'HARE PARKWAY, MEDFORD, OR 97504

DAYTIME PHONE: 541-944-3704 OTHER PHONE: \_\_\_\_\_

FAX: 541-488-3700 E-MAIL: EVAN.ARCHER@YANCO.COM

PROPERTY OWNER'S REPRESENTATIVE (I.E., PERSON ATTENDING REVIEW MEETING):

NAME: EVAN ARCHER BUSINESS: \_\_\_\_\_

BUSINESS ADDRESS: 830 O'HARE PARKWAY MEDFORD, OR 97504

DAYTIME PHONE: 541-944-3704 OTHER PHONE: \_\_\_\_\_

FAX: 541-488-3700 E-MAIL: EVAN.ARCHER@YANCO.COM

BRIEF DESCRIPTION OF REMODELING PROJECT:

ARCHITECTURAL REVIEW OF A  
NEW COMMERCIAL BUILDING IN THE  
CLEARVIEW DEVELOPMENT

STAFF USE ONLY			
Fee <u>\$50<sup>00</sup></u>	Rec'd <u>12-18-13</u>	Rec'd by <u>CB</u>	Date <u>12-18-13</u>
Rcpt # <u>155435</u>			

ARCHITECTURAL REVIEW COMMITTEE  
CITY OF TALENT

Design Review



PLEASE DESCRIBE *SPECIFIC* CHANGES, MODIFICATIONS, OR REPLACEMENTS BE MADE TO THE EXISTING STRUCTURE:

- WINDOWS: \_\_\_\_\_
- DOORS: \_\_\_\_\_
- CHIMNEY: \_\_\_\_\_
- TRIM: \_\_\_\_\_
- SIDING: \_\_\_\_\_
- ROOFING: \_\_\_\_\_
- GUTTERS: \_\_\_\_\_
- GARAGE: \_\_\_\_\_
- PORCH: \_\_\_\_\_

PLEASE INDICATE IF THE BUILDING IS CLASSIFIED BY THE CITY AS ONE OF THE FOLLOWING (IF UNSURE, PLEASE ASK CITY PLANNER OR REVIEW COMMITTEE CHAIR):

DESIGNATED CITY LANDMARK (TALNO \_\_\_\_\_)

NATIONAL REGISTER OF HISTORIC PLACES; (YEAR LISTED: \_\_\_\_\_)

LISTED ON TALENT'S "SURVEY OF HISTORICAL/CULTURAL RESOURCES" (PLEASE INDICATE RANKING BELOW):

PRIMARY, TALNO \_\_\_\_\_

NON-CONTRIBUTING (H), TALNO \_\_\_\_\_

SECONDARY, TALNO \_\_\_\_\_

NON-HISTORIC NON-CONTRIBUTING, TALNO \_\_\_\_\_

CONTRIBUTING, TALNO \_\_\_\_\_



Review form		Applicant's narrative for <u>existing buildings</u>
	<p><i>for Committee use only</i></p> <p><b>M</b> = Meets stds.  <b>NM</b> = Nearly meets stds.  <b>DM</b> = Does not meet stds.</p>	<p>In the spaces directly below, please explain details of how your submitted plans meet each Old Town Design Standard under Section 1, "Remodeling Existing Structures," even if already shown on plans. Address only those items that you plan to change from the existing structure, specifying changes in size, materials or locations. Be sure to refer to the Old Town Design Standards when planning your project and completing this part of the form.</p>
<b>Standard 1: Original Elements</b>		
A. Doors	M NM DM	
B. Windows	M NM DM	
C. Chimneys	M NM DM	
D. Skylights	M NM DM	
E. Gutters	M NM DM	
F. Architectural Elements	M NM DM	
G. Siding	M NM DM	
H. Weatherization & Energy Conservation	M NM DM	



**Clearview of Talent Site Plan Amendment November 2013  
- Proposed New Building H -**

**PROJECT DESCRIPTION**

**December 17, 2013**

**PAC 2013-004**

**PROJECT NAME:** *Clearview of Talent; A Planned Unit Development*

**TYPE OF PLANNING ACTION:** *Request for Site Plan Review of a Site Plan Amendment for the Clearview of Talent Planned Unit Development and Architectural Review of A Proposed New Building in the Clearview Development. A Variance Request for the building setback is also included in this application.*

**PROJECT INFORMATION:**

**OWNER/APPLICANT:**

*Clearview Commercial Long Term Holding, LLC  
C/O Evan Archerd  
830 O'Hare Parkway, Suite 100  
Medford, OR 97504  
Tel: 541 944-3704*

**PLANNER/SITE DESIGN:**

*Bruce Abeloe, A.I.A.  
P.O Box 1126  
Medford, OR 97501  
541 941-2581*

*Tom Madara Landscape Architect  
2994 Wells Fargo Road  
Central Point, OR 97502  
541 664-7055*

**SURVEYOR:**

*Shawn Kampmann  
Polaris Land Surveying  
P.O. Box 459  
Ashland, Oregon 97520  
Tel: 482-5009*

**PROJECT ADDRESS:**

*160 North Pacific Highway*

**LEGAL DESCRIPTION:**

*38 1W 23 DC Tax Lot 3400*

**Clearview of Talent Site Plan Amendment November 2013  
- Proposed New Building H -**

**COMPREHENSIVE PLAN DESIGNATION:**

*Commercial*

**ZONING DESIGNATION:**

*CBH*

**SITE DESCRIPTION:**

*The site is located on the North side of Highway 99 (Pacific Highway) between Valley View Road and Clearview Parkway. The site is currently a single irregular shaped parcel of land consists of a total of 2.15 acres. The site is part the Clearview of Talent Planned Unit development a project that was approved by the city of talent on September 2, 2005 as file number PUD 05 – 02.*

**PROJECT DESCRIPTION:**

*The Clearview of Talent development, as originally approved contains 58 residential units, five live work units and 20,960 ft.<sup>2</sup> of retail/office space and 10,080 of ground floor Live Work space. All infrastructure including roads and utilities for the original project have been completed.*

*This proposal is for a modification of the original site plan to replace Live Work Building G with two residential units and combine the commercial square footage originally allocated between Building G and Building H on the attached site plan into a new, larger Building H. The location and shape of building H will also be modified as shown on the attached documents. The site area occupied by Building G will ultimately be developed with two residential units. This results in no increased density of the residential portion of the project.*

*Per the original approval, Building G contains a total of 2,460 ft.<sup>2</sup> on the ground floor. Building H contains a total of 2,898 ft.<sup>2</sup> on the ground floor. Under this proposal, the new building H will have a total of 6,304 ft.<sup>2</sup> or an increase of approximately 946 ft.<sup>2</sup> of commercial area for the entire project.*

*The proposal also reconfigures the current parking area for buildings E, F, G, and H so that there is a net increase in parking spaces for the project of +1 as shown on the attached proposed site plan.*

**Clearview of Talent Site Plan Amendment November 2013  
- Proposed New Building H -**

*The original parking ratio for the entire Clearview commercial development area was 1 parking space for each 220 ft.<sup>2</sup> of building area the proposed parking ratio is 1 parking space for each 225 ft.<sup>2</sup> of building area.*

**FINDINGS IN ACCORDANCE WITH SECTION 8-3L.150 REQUIRED FOR APPROVAL OF THE PLAN**

*After an examination of the site, the Planning Commission shall approve, or approve with conditions the site development plan if all of the following findings are made:*

- A. *All provisions of this Chapter and other applicable City ordinances and agreements are complied with;*

***The Clearview of Talent Detailed Development Plan was originally approved in September 2005. This amendment is consistent with the original plan. It does not increase the residential density of the project, and only modestly increases the commercial square footage in accordance with the city of Talent's Comprehensive Plan to support new commercial development.***

- B. *The proposed development will be in conformance with the intent and objectives of the zone in which it will be located;*

***The proposed development is in conformance with the intent and objective of the CBH zone. Furthermore, it improves the original site plan by creating a buffer between the commercial component of the original development and the residential component***

- C. *All applicable portions of the City comprehensive plan or other adopted plan are complied with;*

***The original development met all requirements of the city's comprehensive plan and this amendment is consistent with that approval.***

- D. *The proposed development will be compatible with or adequately buffered from other existing or contemplated uses of land in the surrounding area;*

***This amendment is consistent with the original development plan that was approved.***

- E. *That no wastes, other than normal water runoff, will be conducted into City storm and wastewater facilities;*

**Clearview of Talent Site Plan Amendment November 2013  
- Proposed New Building H -**

***There is no change in the proposed storm water facilities that have already been installed.***

F. *The following are arranged so that traffic congestion is avoided, pedestrian and vehicular safety, solar access, historic sites, and the public welfare and safety are protected, and there will be no adverse effect on surrounding property:*

1. *buildings, structures, and improvements;*

***The proposed change of building location and building shape increases public safety and welfare by additional buffering from the highway and there is no adverse effect on any surrounding property.***

2. *vehicular and pedestrian ingress and egress, and internal circulation;*

***There is no change proposed to the access. The circulation pattern is improved within the development by the new site plan and parking layout.***

3. *parking and loading facilities;*

***There is a net increase of one space of parking per the revised site plan.***

4. *setbacks and views from structures;*

***The setback of the proposed new commercial building from the Highway will meet all applicable setback standards. A variance request is also included in this application to reduce the setback of the new commercial building from the East property line. This variance is requested to avoid creating an unusable space between the existing property to the East (the Anjou apartments) and the subject property which would be an entirely unusable area and create a public safety hazard.***

5. *walls, fences, landscaping and street and shade trees;*

***There is no change proposed in any walls, fencing or landscaping in the site plan. At the completion of the new building, all parking lot landscaping will be completed per the attached landscaping plan. The pedestrian walkway connection to the east property line adjacent to the Anjou apartments will also be installed.***

6. *lighting and signs; and*

**Clearview of Talent Site Plan Amendment November 2013  
- Proposed New Building H -**

**All parking lot lighting is already in place. One light will be re-located as per the attached site plan. The new commercial building will offer tenants signage on the building façade, but there will be no additional monument sign proposed at this time.**

7. noise generation facilities and trash or garbage depositories.  
**The trash depository has been relocated further from any of the buildings.**

G. The applicant has made any required street and other needed public facility and service improvements in conformance with the standards and improvements set forth in this Chapter and the applicable portions of the City Subdivision Code, or has provided for an adequate security arrangement with the city to ensure that such improvements will be made.

**All streets and street improvements were completed as per the original approval of the project. The pedestrian walkway connection to the east property line adjacent to the Anjou apartments will also be installed.**

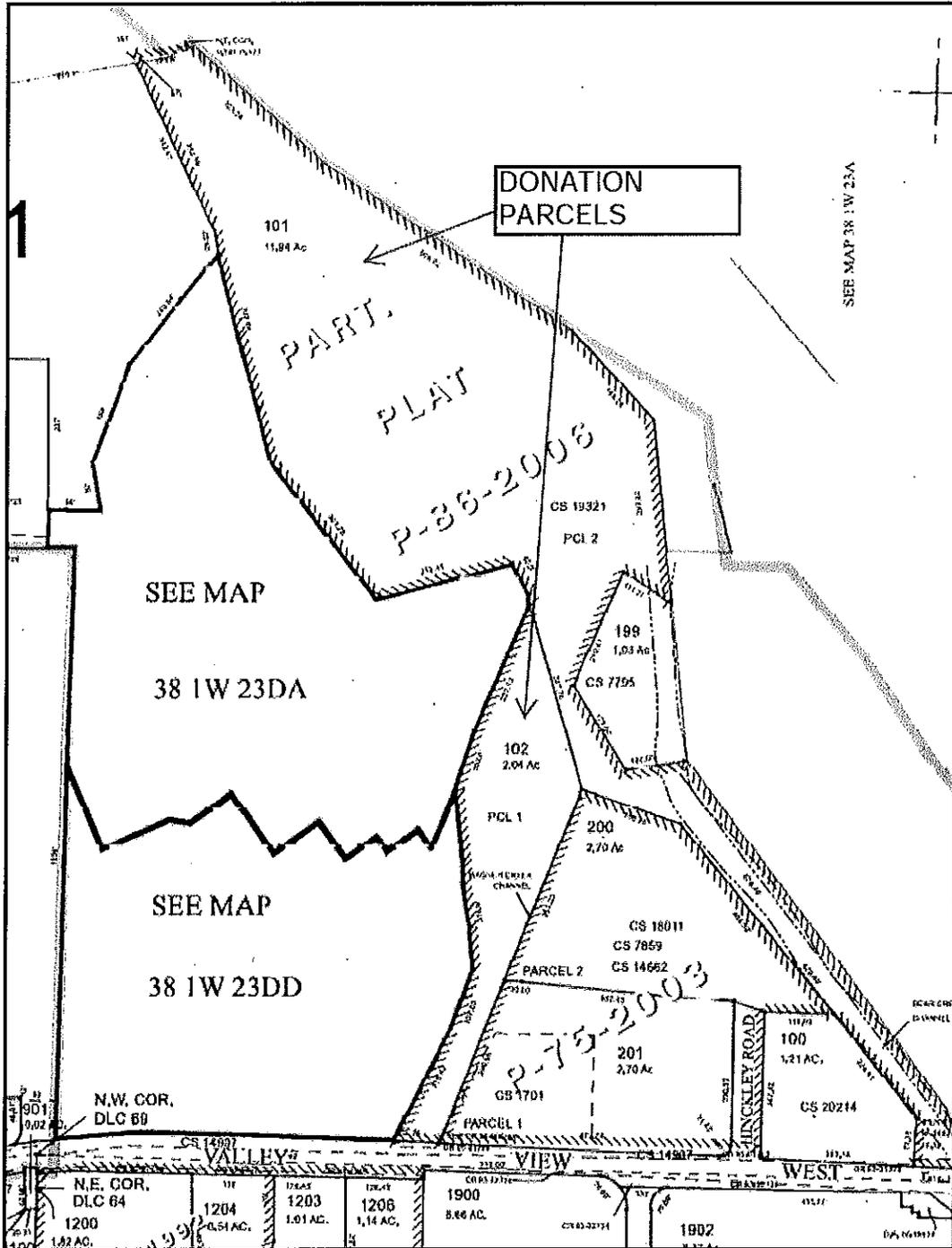
**Additional Findings:**

As part of the original development of the Clearview In Talent project the applicant purchased an 11.94 acre parcel of land referenced by map number 38 1W 23 D Tax Lot 101 from Howard DeYoung. This property is also referenced by Parcel 1 of Partition Plat P-86-2006. The Clearview Development Group has agreed to dedicate this parcel to the City of talent for open space uses.

Recently the applicant has also acquired Tax Lot 102 of Map 38 1W 23D. This property is also referenced by Parcel 1 of the same Partition Plat P-86-2006. This additional property provides access onto W. Valley View Rd to the original donation parcel. It is the intention of the applicant to donate both parcels to the City of Talent for open space purposes. A donation agreement is attached to this application.

Please refer to the map showing these parcels on the following page.

**Clearview of Talent Site Plan Amendment November 2013  
- Proposed New Building H -**

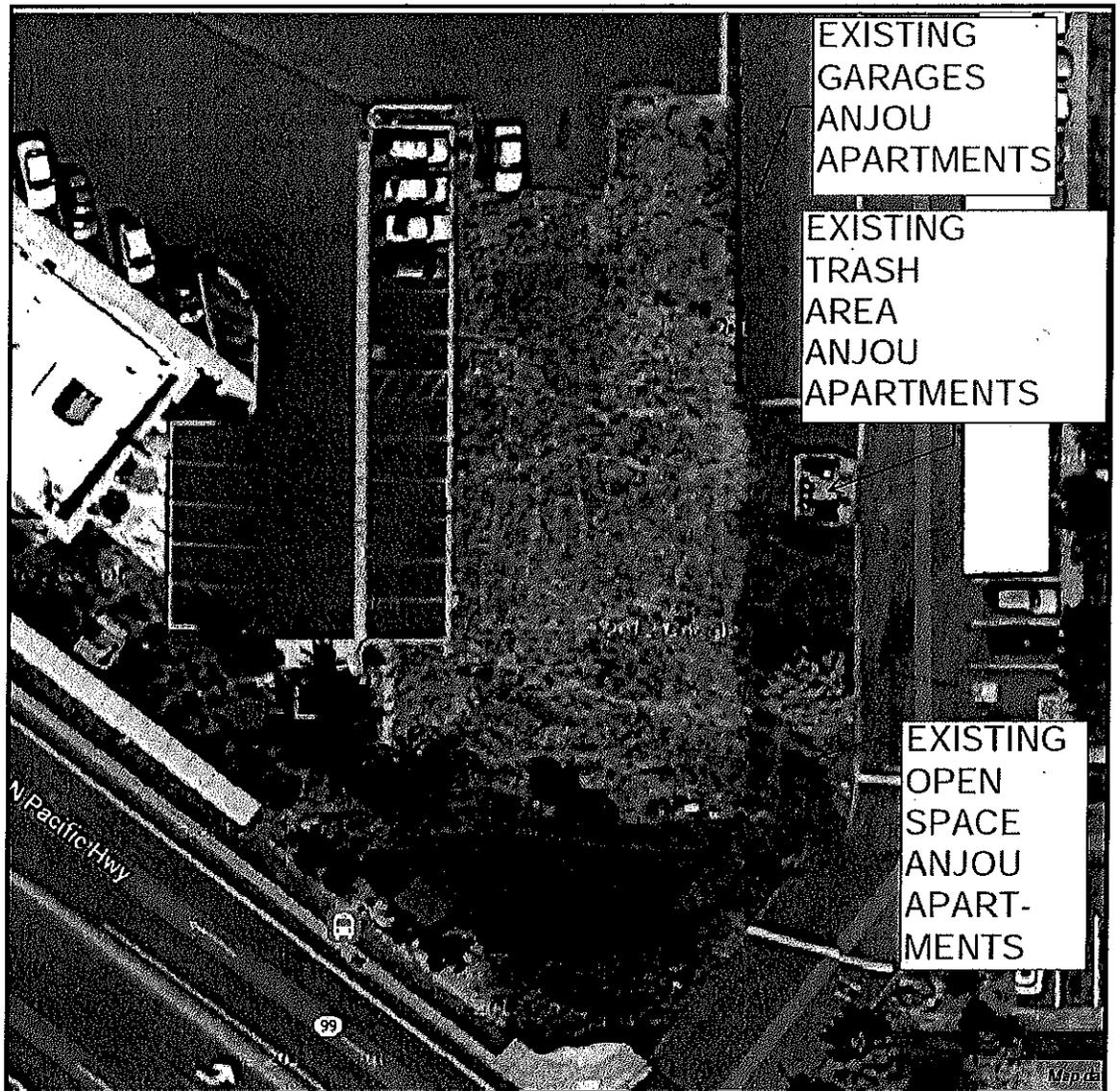


**Map 38 1W 23D**

Clearview of Talent Site Plan Amendment November 2013  
- Proposed New Building H -

VARIANCE REQUEST

*A variance is requested as part of this proposal to locate the new commercial building with a four foot setback from the East property line of the lot.. This property line abuts the Anjou Apartments to the East. In this location the apartment complex has (1) enclosed garages,(2) a trash enclosure for the project, and (3) an open space area. Please see the aerial photograph below.*



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- Proposed New Building H -**

*Findings which address the criteria for this variance are shown below.*

**8-3L.440 REQUIRED FINDINGS FOR GRANTING A VARIANCE**

*The Planning Commission shall not grant any variance unless all of the following findings are made:*

- A. *There are exceptional or extraordinary circumstances or conditions applying to the property or intended use that do not apply generally to other properties in the same zone or vicinity and which result from lot sizes or shape legally existing prior to the adoption of this chapter, topography, or other circumstances over which the applicant has no control;*

***The proposed new commercial building shares a property line with the Anjou Apartments to the East. In this location, the Anjou Apartments have three elements. The first is a large garage, the second, is a trash enclosure, and the third is an open space area. To create a normal 10 foot setback in this area from the rear of the proposed building would invite public nuisance. It would create space between the Anjou Apartments garages - which have no windows facing this area and the proposed new commercial building that will also have no Windows on its east side due to building code requirements for windows near property lines. This would create a space in which there are no public "eyes" to prevent the space from being used as an area to dump trash, loiter, or create other public mischief. The remainder of the area is already open space for the Anjou apartments, and therefore no setback in this area is either required or warranted.***

- B. *The variance is necessary for the preservation of a property right of the applicant which is substantially the same as is possessed by the owners of other property in the same zone or vicinity;*

***The variance is necessary for the preservation of safety for the property. As mentioned above, to create a traditional setback in this area would invite public nuisance.***

- C. *The variance would not be detrimental to the purposes of this chapter, the objectives of any City development plan or policy, the goals, policies or text of the Comprehensive Plan, or other property in the zone or vicinity in which the property is located; and*

***To the contrary, the variance is beneficial to the purposes of this chapter because it reduces a public safety hazard, and takes***

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- Proposed New Building H -**

***maximum advantage of the commercial land for a useful purpose as opposed to a detrimental purpose. It is beneficial to other properties in the vicinity, because it prevents a public safety hazard***

*D. The variance would not be detrimental to the purposes of this chapter, the objectives of any City development plan or policy, the goals, policies or text of the Comprehensive Plan, or other property in the zone or vicinity in which the property is located; and*

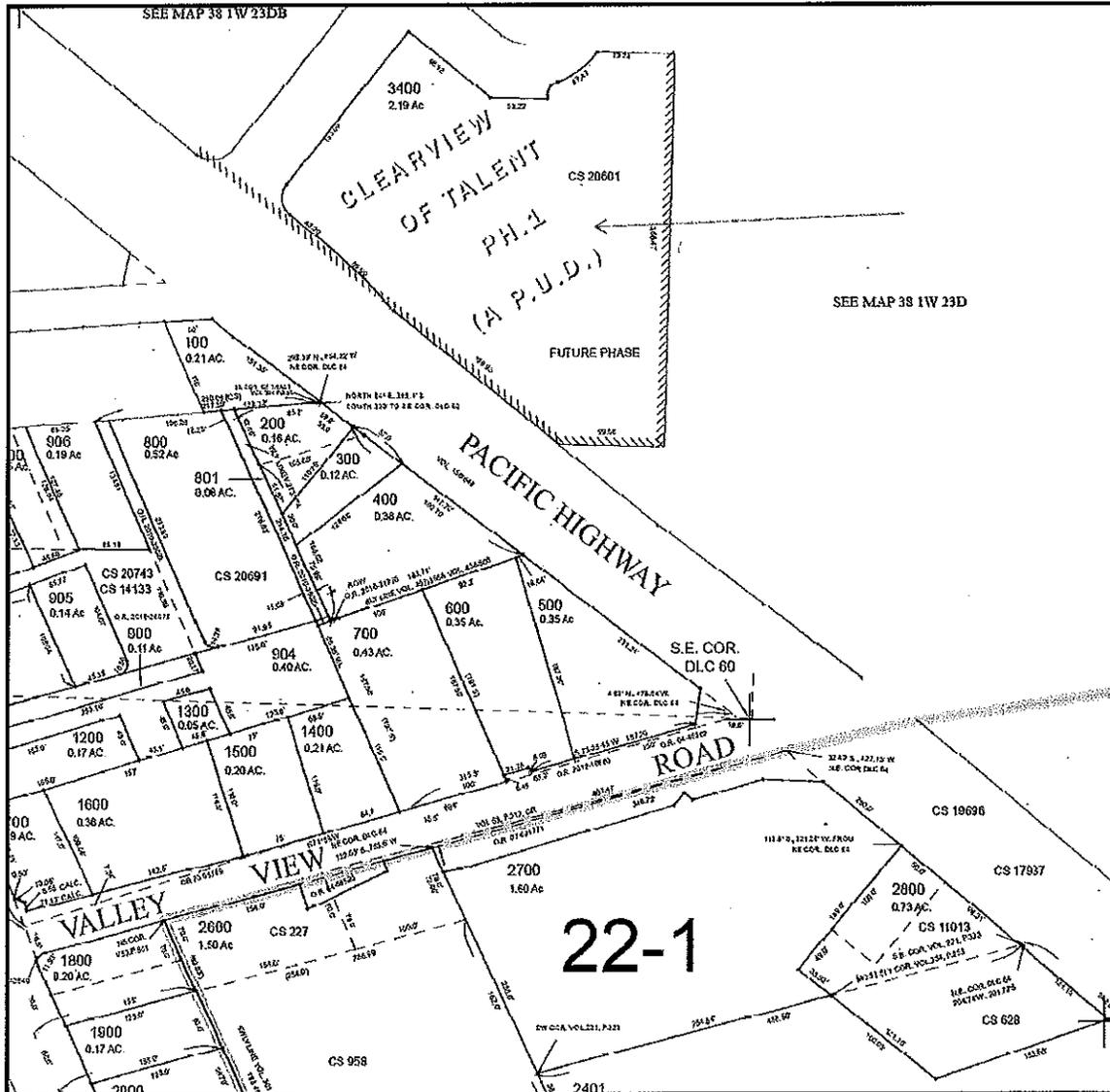
***See comments under Paragraph C above***

**Additional Findings**

*As part of the pre-application conference, staff requested that the applicant speak to Fire District 5 to determine if there were any concerns on the part of the fire department with regard to the variance request. The applicant met with Dan Marshall, from Fire District 5 on-site. The fire department determined that any potential fire issue could be accessed successfully from either from the parking lot of the Clearview development, or from the fire lane which already exists at the Anjou apartment development. Therefore the Variance has no impact on fire safety.*

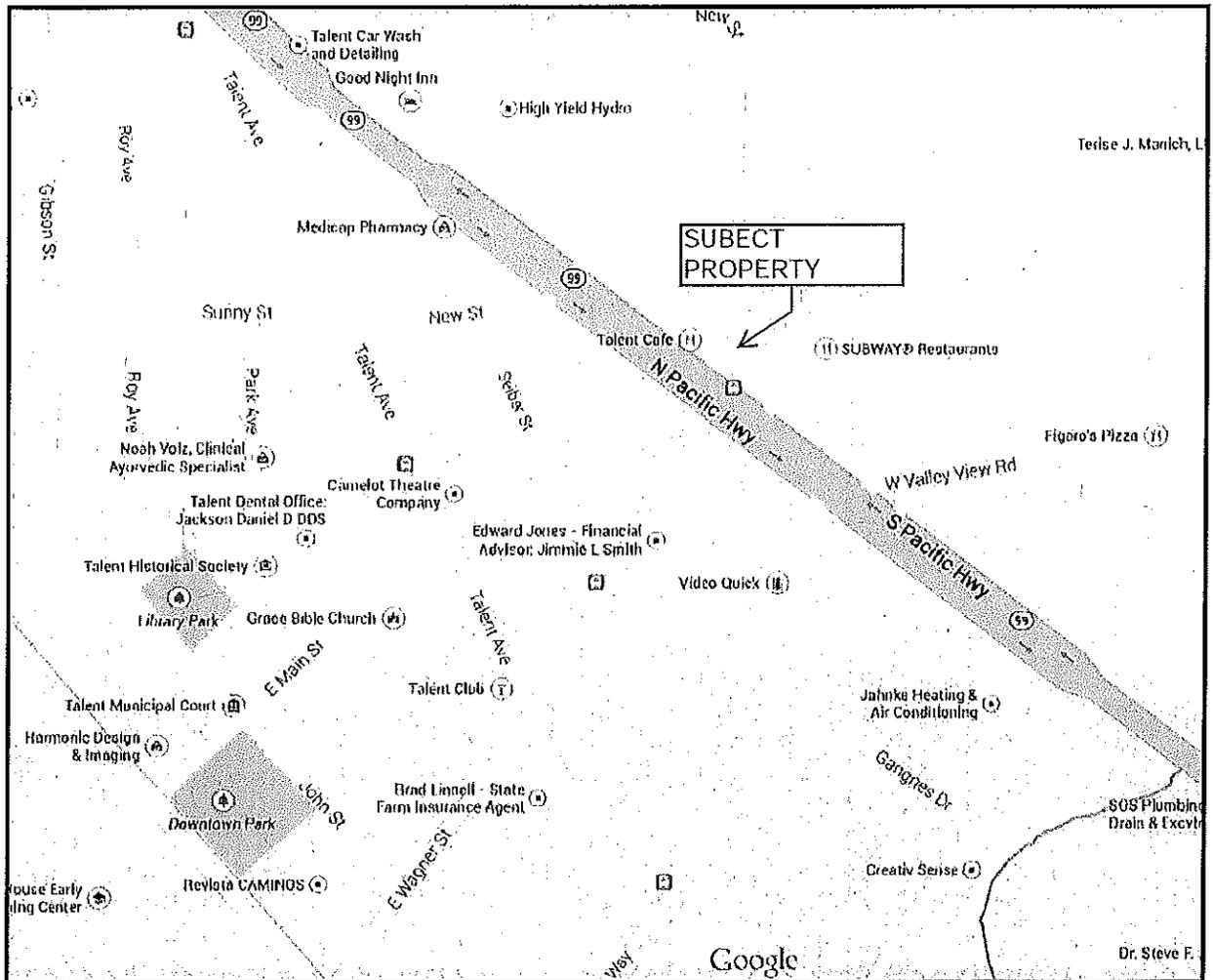
Clearview of Talent Site Plan Amendment November 2013  
- Proposed New Building H -

PLAT MAP



Clearview of Talent Site Plan Amendment November 2013  
- Proposed New Building H -

LOCATION MAP



# ***SITE REVIEW PLANS***

KEYED NOTES - SITE PLAN



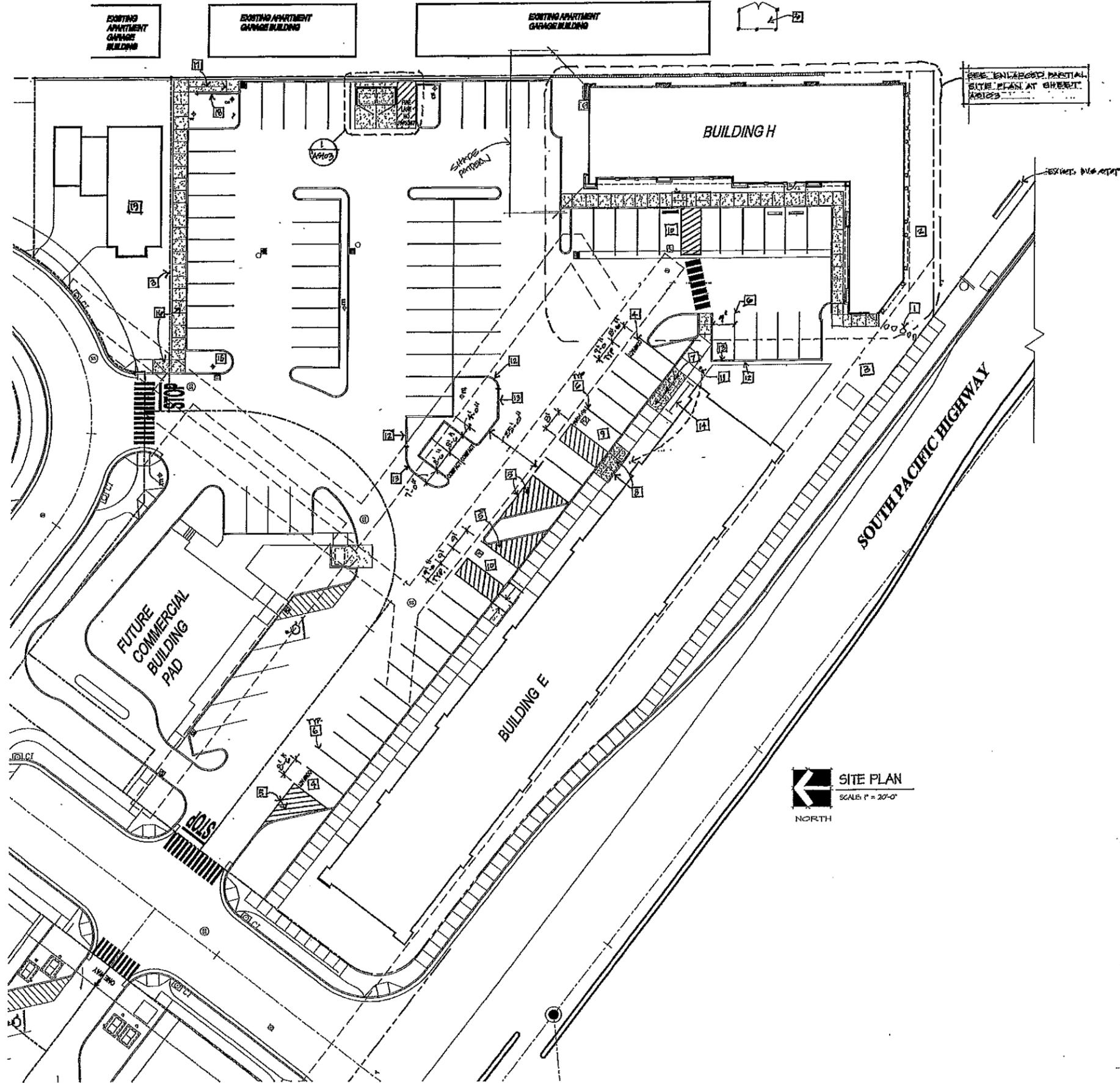
**BRUCE H. ABEOLE**  
 ARCHITECT, A.I.A.  
 ARCHITECTURE  
 GREEN DESIGN  
 PLANNING  
 INTERIOR DESIGN  
 P.O. BOX 1125  
 MEDFORD, OREGON 97501  
 EMAIL: bruce\_abeole@abeole.com  
 (541) 941-2881 CELL  
 (541) 734-8898 FAX

- 1 SEE LANDSCAPE PLAN FOR NEW PATHWAY
- 2 PVB, 10" WIDE
- 3 PVB, 15" WIDE
- 4 NEW PAINTED TEXT, COLOR: WHITE
- 5 1" HIGH PAINTED STRIPES, ANGLE STRIPES @ 2'-0" OC, COLOR: WHITE
- 6 NEW 1" PAINTED STRIPES, COLOR: WHITE, BLACK OUT EXISTING ANGLE STRIPES, ETC.
- 7 REMOVE EXISTING CURB RAMP, REPLACE WITH A NEW CONCRETE CURB AND SIDEWALK
- 8 INSTALL NEW CURB RAMP, PER REVISED CHAPTER 11, 2010 OREGON STRUCTURAL SPECIALTY CODE
- 9 NEW VAN ACCESSIBLE SPACE LOCATIONS (PER CODE)
- 10 NEW ACCESSIBLE SPACE LOCATIONS (PER CODE)
- 11 RELOCATE EXISTING VAN ACCESSIBLE PARKING SIGN / POLE
- 12 EXISTING CONCRETE CURB
- 13 NEW CONCRETE CURB
- 14 EXISTING BICYCLE RACK
- 15 RELOCATE THE EXISTING PARKING LOT POLE LIGHT FROM THE EXISTING DUMPSTER ENCLOSURE AREA
- 16 NEW CONCRETE SIDEWALK
- 17 NEW SLOPING SIDEWALK, REMOVE KEYSTONE UNITS AT THE LOWER HANDING TO PROVIDE ACCESS TO THE APARTMENT COMPLEX
- 18 6" W CONCRETE CURB
- 19 PROPOSED 2 STORY DUPLEX
- 20 EXISTING APARTMENT TRASH ENCLOSURE

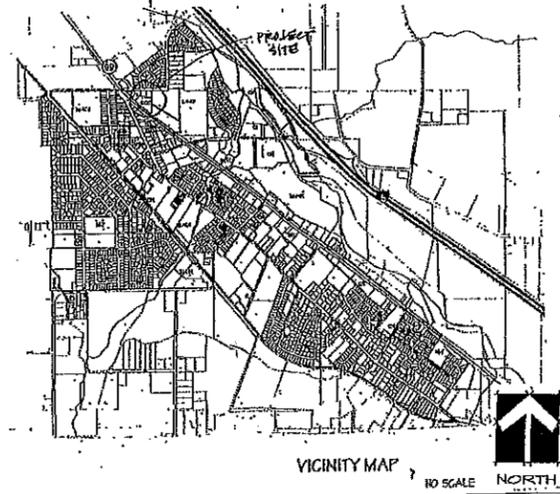
CLEARVIEW DEVELOPMENT  
 BUILDING H  
 CLEARVIEW SUBDIVISION  
 TALENT, OREGON

SUBMITTAL DATE(S)	
OWNER / AGENCY	
DWG DATE	12.12.2012
PROJECT NO	
REVISION	DATE
▲	
▲	
▲	
▲	

■ SITE PLAN  
 DRAWING STATUS  
 SITE REVIEW APPLICATION  
 SHEET NUMBER  
**AS101**  
 OF



**SITE PLAN**  
 SCALE: 1" = 20'-0"  
 NORTH









**BRUCE H. ABELOE**  
 ARCHITECT, A.I.A.  
 ARCHITECTURE  
 GREEN DESIGN  
 PLANNING  
 INTERIOR DESIGN

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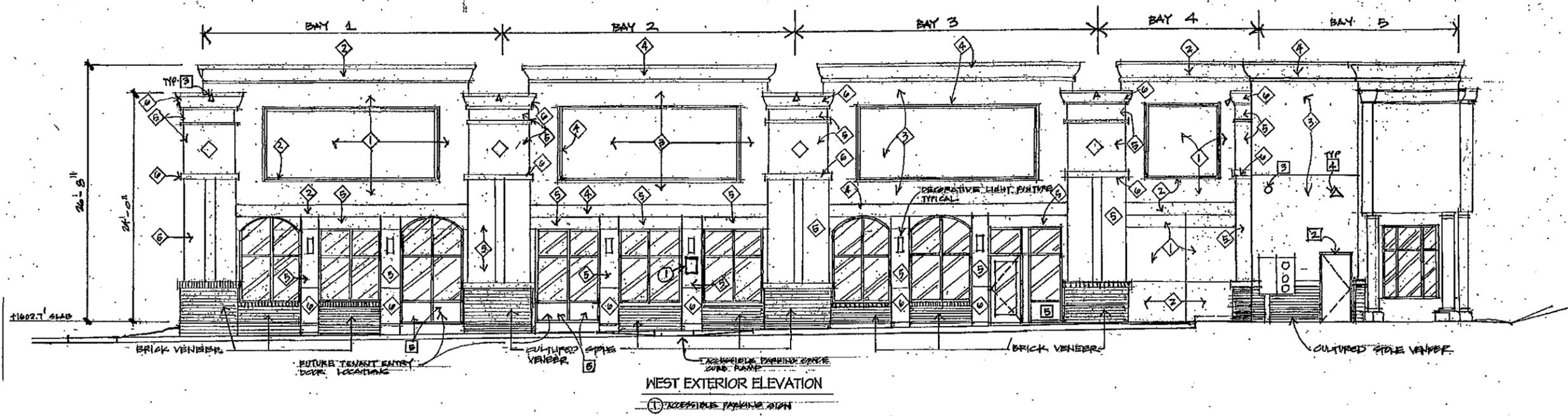
CLEARVIEW DEVELOPMENT  
 BUILDING H  
 CLEARVIEW SUBDIVISION  
 TALENT, OREGON

SUBMITTAL DATE (S)	
OWNER / AGENCY	
DATE	12.12.2012
PROJECT NO.	
REVISION	DATE

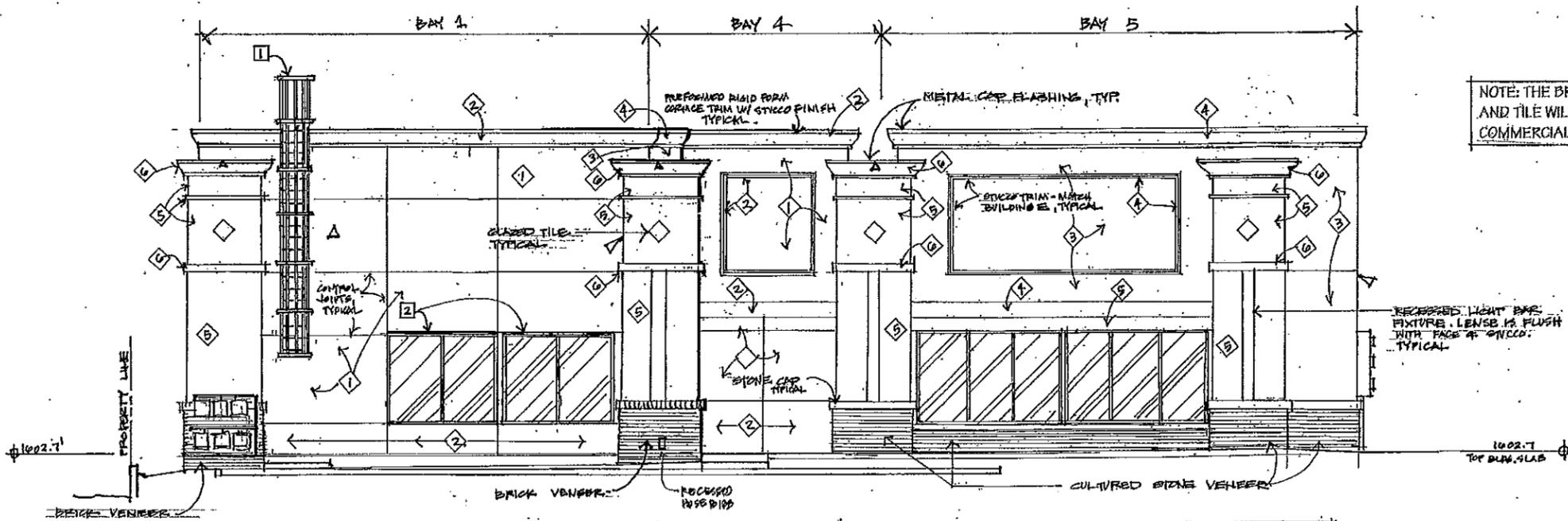
**EXTERIOR COLORS**

The existing Building E has three exterior colors. We plan on using the two tan colors. We will designate the tan color at the middle section of Building E as Color A and the other tan color (where Snap Fitness and Subway are located) as Color B. The grey color will not be used. Instead our third color will be: ParoxUSA Warm Sand - Color C.

- 1 COLOR A
- 2 COLOR A - BUT DARKER
- 3 COLOR B
- 4 COLOR B - BUT DARKER
- 5 COLOR C
- 6 COLOR C - BUT DARKER



NOTE: THE BRICK VENEER, CULTURED STONE VENEER, AND TILE WILL MATCH THE EXISTING CLEARVIEW COMMERCIAL BUILDING (BUILDING E)



TYPICAL NOTE: ALL EXTERIOR WALL FINISH - STUCCO UNLESS NOTED OTHERWISE

- 1 STEEL ROOF LADDER, MATCH LADDER AT BUILDING E
- 2 GALV. METAL HEAD FLASHING
- 3 SECURITY CAMERAS
- 4 EXTERIOR LIGHT FIXTURE
- 5 OPaque SPANDREL (INSULATED) PANEL

EXTERIOR ELEVATIONS

DRAWING STATUS  
 SITE REVIEW  
 APPLICATION

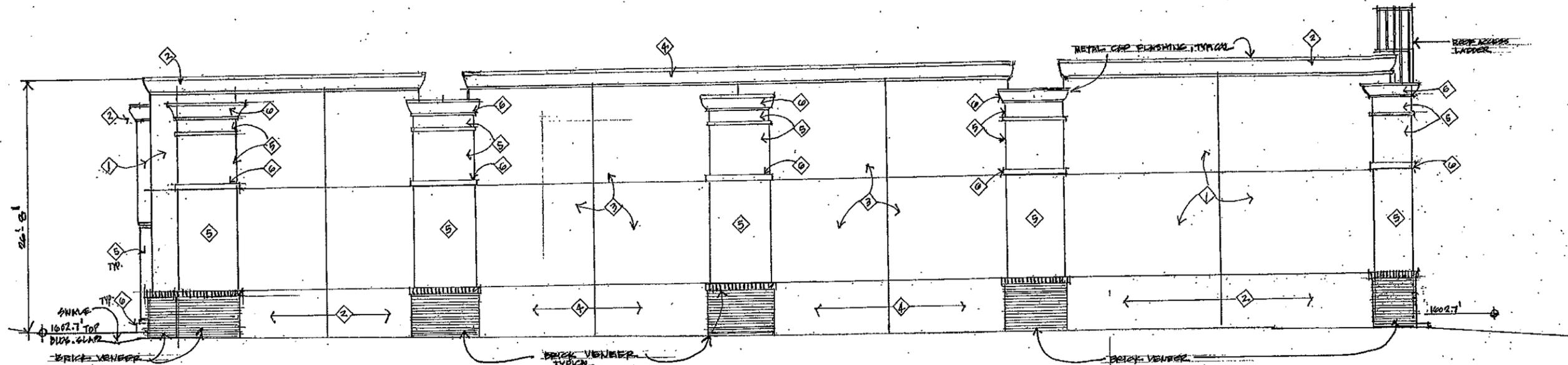
SHEET NUMBER

**A201**



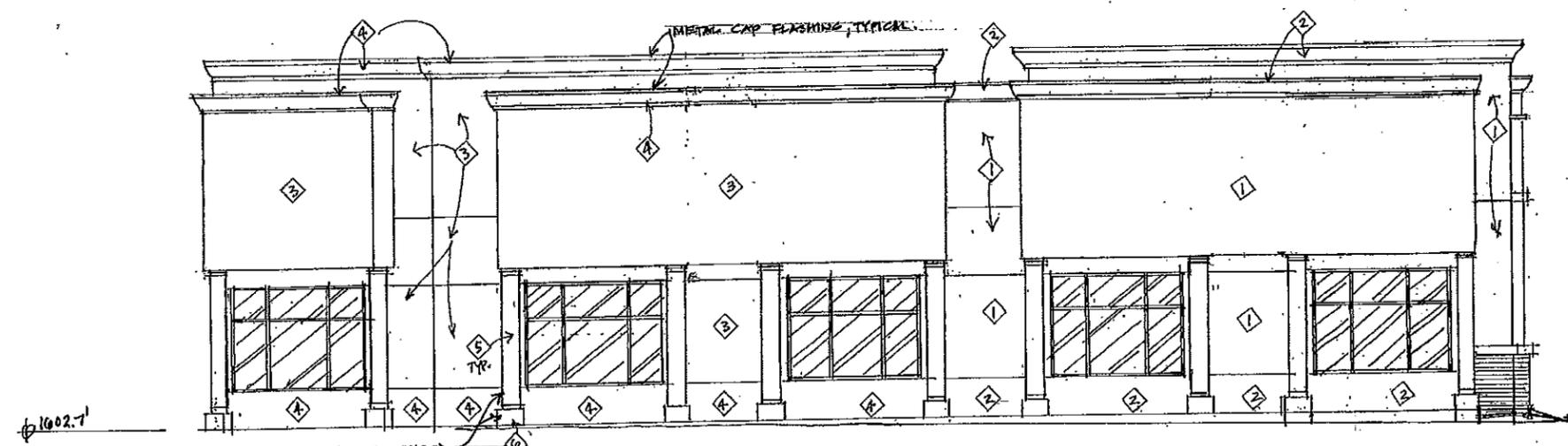
**BRUCE H. ABEL**  
 ARCHITECT, A.L.A.  
 ARCHITECTURE  
 GREEN DESIGN  
 PLANNING  
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 (541) 734-3893 FAX



**EAST EXTERIOR ELEVATION**

3/10/11  
 ALL EXTERIOR FINISHES - STUDIOS  
 UNLESS NOTED OTHERWISE.



**SOUTH EXTERIOR ELEVATION**

**EXTERIOR COLORS**

ELEVATION VIEWED FROM HIGHWAY 99

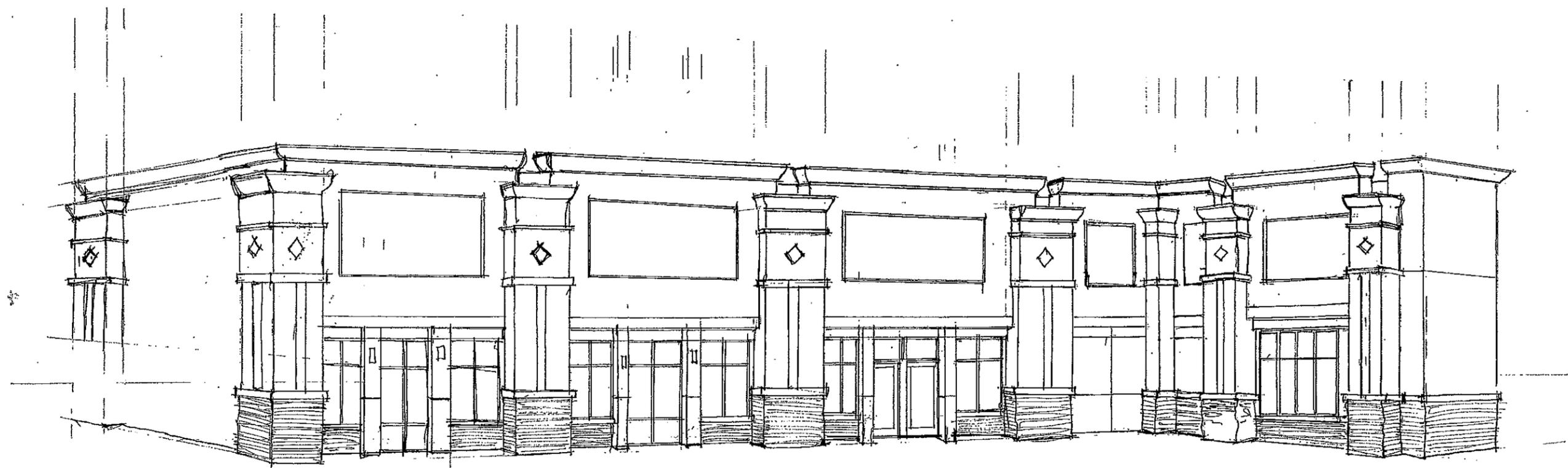
CLEARVIEW DEVELOPMENT  
 BUILDING H  
 CLEARVIEW SUBDIVISION TALENT, OREGON

SUBMITTAL DATE(S)	OWNER / AGENCY
DATE	12.12.2013
PROJ. NO.	
REVISION	DATE
1	
2	
3	
4	
5	

EXTERIOR ELEVATIONS

DRAWING STATUS  
 DATE REVIEW  
 APPLICATION

SHEET NUMBER  
**A202**



CONCEPTUAL EXTERIOR PERSPECTIVE VIEW



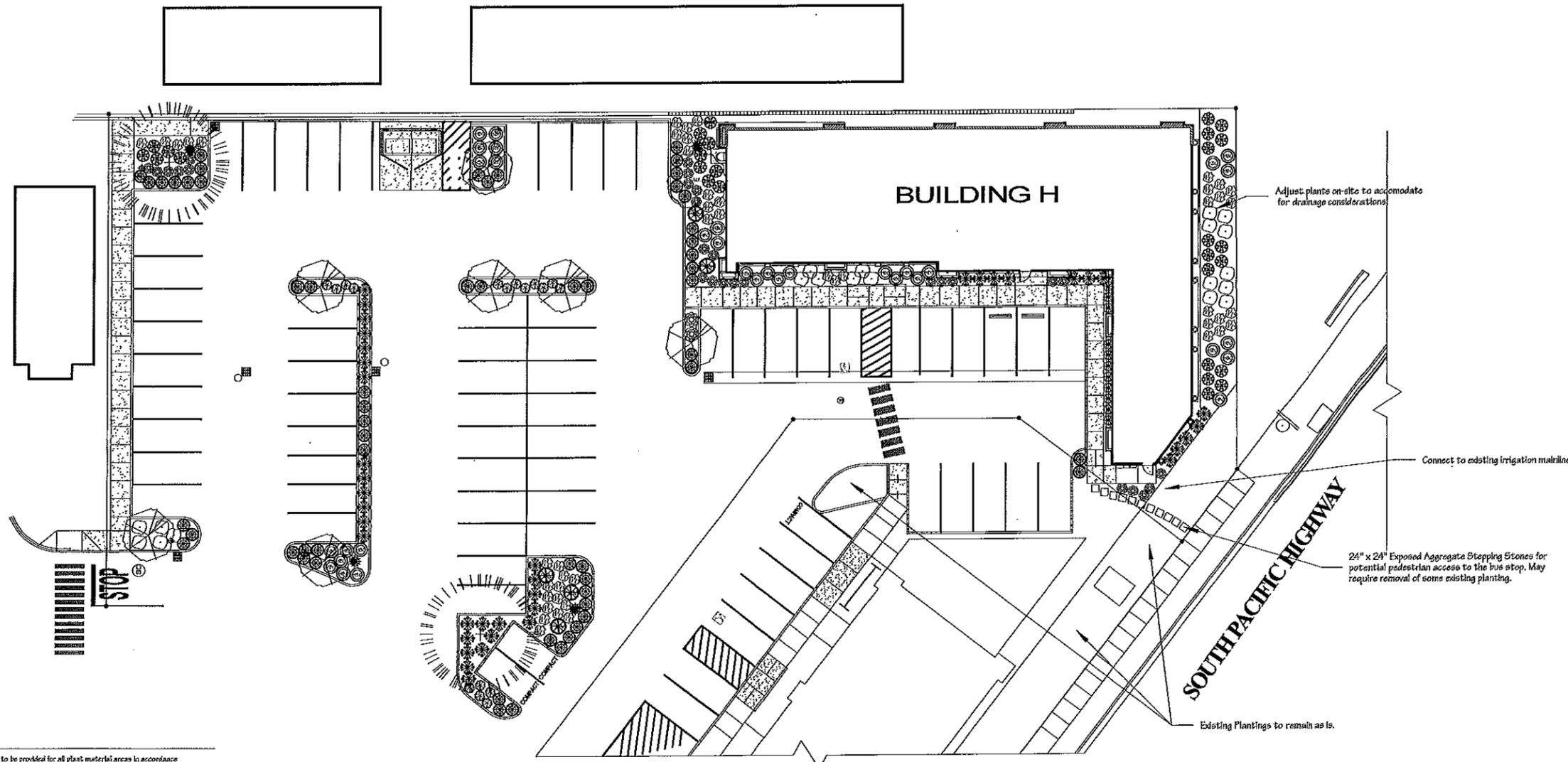
**Madara Design Inc**  
 Landscape Architecture, Design & Consultation  
 2994 Wells Fargo Rd  
 Central Point, Or 97502  
 541-664-7055

**CLEARVIEW DEVELOPMENT BUILDING 'H'**  
 SOUTH PACIFIC HIGHWAY  
 TALENT, OREGON

Drawn by: TM  
 Checked by: TM

12.09.13  
 SCALE:  
 1" = 16'

L101



**IRRIGATION**

1. An automatic irrigation system to be provided for all plant material areas in accordance with industry standards. System is intended to perform at 25 gpm and 80 psi. Confirm on-site before proceeding.
2. All materials are to be new and in original condition.
3. Irrigation system to be isolated from potable water by an approved backflow device installed to local and state standards. (EXISTING)
4. Sprinkler materials to include 1/2" pop-up spray heads in shrub areas. All heads will be installed with swing joint assemblies that may include swing pipe of a minimum of 10'.
5. Layout of sprinkler heads in and shrub areas to be based on a head to head coverage configuration.
6. All trenching to be a minimum of 18" deep. Backfill to be clean and free of any material larger than 1/2" in diameter. Backfill shall be adequately compacted and guaranteed against further settling.
7. All mainline pipe shall be PVC 6040 and 1 1/4" minimum. All laterals shall be PVC 6200 and 1" minimum.
8. Add appropriate number of control modules to existing clock to accommodate expanded irrigation.
9. Control valves are to be a minimum of 1/2" and spaced with water proof connections located in valve boxes only.
10. Skowing to be provided under all handscapes by general contractor for irrigation purposes.
11. Irrigation system to be guaranteed against defective material or workmanship for one year from the date of final acceptance.
12. Provide owner with an accurate as-built locating all valves, pipe splices, main line and any skowing.
13. Provide owner with preliminary watering schedule for the established landscape.
14. Provide owner with complete set of written instructions for operation of sprinkler system including spring start up, clock operation, and winterization.
15. Walk owner through the entire system describing the operating instructions.

**GRADING**

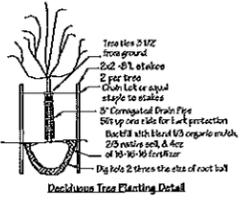
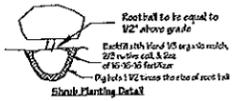
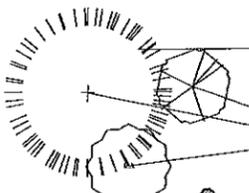
1. Landscape contractor to include removal of debris 1/2" or larger and the removal of compacted rock and gravel in all planting areas in order to achieve planting areas where the subgrade consists 10' of visible, as determined by Landscape Architect prior to any placement, soil (see General Notes for additional conditions). Place sufficient top soil to achieve the desired depth of soil allowing for 25% compaction of loosely placed soil. At a minimum include 6" of top soil in all planting beds.
2. Placement of any soil to be done in coordination with outside weather conditions so as to prevent damage to soil structure.
3. Landscape contractor to coordinate with site contractor to provide a finish grade within 3" of surrounding landscape. All graded material to be adequately firm without being overly compacted.
4. Finish grade in shrub areas to be a smooth even grade rounded 2" high in the middle of beds and ending 3" below surrounding areas. All finish grading to promote possible drainage away from structures and to be done in such a way as to eliminate puddling or collection of water.
5. Landscape contractor responsible for addressing any drainage problems encountered during the course of construction, with owner representative.

**GENERAL CONSTRUCTION NOTES**

1. General preparation of site to include:
  - A. Removal of large debris (1/2" or larger) and the removal of compacted rock, concrete, asphalt, and gravel or other materials injurious to healthy plant growth in all planting areas, from job site.
  - B. Emulsification of weeds through the certified application of herbicides, allowing adequate time for use.
  - C. Include removal of all non-native species from the site including river bank.
2. All shrub beds to be finish raked to a smooth condition prior to mulching.
3. Mulches must match to be placed in all shrub beds to a depth of 3".
4. INCLUDE 90 DAY OF MAINTENANCE from the day of acceptance. Including but not limited to:
  - A. Maintain planting areas in a healthy, weed free condition through a minimum of bi-weekly visits.
  - B. Replace any material showing signs of stress.
  - C. Monitor irrigation for correct timing.
  - D. Provide owner with complete list of instructions for continued care.
5. Plan is diagrammatic and measurements should be confirmed on-site. Any changes are the responsibility of the contractor to co-ordinate with the owners representative. All site dimensional information provided by owner and they are responsible for its accuracy.

**PLANT LIST**

Quantity	Common Name	Botanical Name	Size
7	Hornbeam, European	<i>Carpinus betulus</i>	1 1/2"
2	Ulmus, Greenleaf	<i>Ulmus carolinensis</i>	1 1/2"
1	Maple, Amur	<i>Acer ginnala</i>	1 1/2"
<b>Shrubs</b>			
17	Barberry, Crispum Pyram	<i>Berberis thunbergii</i> 'Crispum Pyram'	2g
20	Burning Bush Dwarf	<i>Elyonurus alata</i> 'Compacta'	2g
11	Ceanothus, Foliat Rays	<i>Ceanothus glaberrimus</i> 'Foliat Rays'	2g
35	Holly, Barford Compact	<i>Ilex cornuta</i> 'Barford'	2g
5	Ficus, Mayo Mops	<i>Ficus major</i> 'Mops'	5g
28	Rock Rose, Orckid	<i>Cistus purpureus</i>	3g
20	Spiraea Anthony Waterer	<i>Spiraea alba</i>	2g
<b>Ground Cover / Grasses</b>			
4	Grass, Karl Forester	<i>Calamagrostis Karl Forester</i>	2g
57	Rosa, Red Ribbon	<i>Rosa rugosa</i> 'Massachusetts'	2g
29	Rosa, Red Ribbon	<i>Rosa 'Red Ribbon'</i>	2g



**PLANTING**

1. Plant material to be provided in accordance with species, sizes and quantities indicated below. Substitutions based on list provided may be made as applicable. Remaining substitutions to be made with the approval of Landscape Architect.
2. No planting to proceed until irrigation system is fully functioning in the area to be planted.
3. All plant holes to be dug 2 times the volume of their root ball size. Backfill shall consist of 1/3 organic mulch, 2/3 native soil, mycorrhizae supplement and 10-10-10 fertilizer as follows:  
 1gal 1oz  
 5-gal 2oz  
 larger 4oz
4. Plant upright and face to give best appearance or relationship to plants, structures and predominant prevailing wind. Trees are to be planted so as to be straight up and down without the assistance of stakes. Staking is solely for support against outside forces.
5. Loosen and remove 20cm bleed and wrap from around top of each root ball. Scavify root balls of plants exhibiting a root bound condition, being careful not to damage the root balls integrity. Stake and guy trees immediately after this work.
6. Place and compact backfill soil mixture carefully to avoid injury to roots, and fill all voids.
7. When hole is 2/3 filled with soil, completely seal and allow water to soak away at least two times or more, as necessary to completely water individual plants.
8. Guarantee plant materials and related workmanship of installation, beginning after written acceptance of work, for one year.
  - A. Replace plant material not surviving or in poor condition during guarantee period.
  - B. Perform all replacement work in accordance with original specifications at no additional cost to Owner.
  - C. Damage or loss of plant materials due to vandalism, freezing or acts of neglect by others, is exempt from Contractor's replacement responsibility.



NOTE: IF THIS SHEET IS LESS THAN 24" x 36" IT HAS BEEN REDUCED AND IS NOT TO SCALE.

\$ 50 Fee + \$200 per/hr

ARCHITECTURAL REVIEW COMMITTEE  
CITY OF TALENT

Design Review



REMODELING  
DESIGN REVIEW

FOR COMMITTEE USE ONLY:

SITE ADDRESS: 2 Talent Avenue

DATE SUBMITTED: 12/23/13

SUBMITTED WITH FIVE (5) SETS OF PLANS  
SHOWING ALL ELEVATIONS, SITE PLAN, AND  
ARCHITECTURAL DETAILS (REDUCED PLANS ARE  
PREFERRED: 11" X 17" OR 8½" X 11")

Planning file no. ARC13-004

Date Reviewed: \_\_\_\_\_

TALNO. \_\_\_\_\_ P S C  
NC(H) NH-NC

TARC REVIEW RESULT:  
 Plans accepted  
 Plans accepted with changes as noted  
 Plans NOT accepted

SUBMITTED BY:  PROPERTY OWNER  REPRESENTATIVE OF PROPERTY OWNER

PROPERTY OWNER'S NAME: LISA ADAMS

MAILING ADDRESS: P.O. Box 1111 Talent, OR 97540

DAYTIME PHONE: 541-535-6161 OTHER PHONE: 541-944-3175

FAX: \_\_\_\_\_ E-MAIL: LISALADAMS1@gmail.com

PROPERTY OWNER'S REPRESENTATIVE (I.E., PERSON ATTENDING REVIEW MEETING):

NAME: Meg McCabe BUSINESS: Recltor

BUSINESS ADDRESS: \_\_\_\_\_

DAYTIME PHONE: 541-778-4244 OTHER PHONE: \_\_\_\_\_

FAX: \_\_\_\_\_ E-MAIL: GRADYMAE@CHARTER.NET

BRIEF DESCRIPTION OF REMODELING PROJECT:

EXTERIOR PAINT  
NEW ENTRY  
NEW WINDOWS  
ROOF - CORREGATE ZINC GREY METAL

STAFF USE ONLY  
Fee 500

Rec'd [Signature]

Rec'd by \_\_\_\_\_

Date \_\_\_\_\_

ARCHITECTURAL REVIEW COMMITTEE  
CITY OF TALENT

Design Review



PLEASE DESCRIBE SPECIFIC CHANGES, MODIFICATIONS, OR REPLACEMENTS BE MADE TO THE EXISTING STRUCTURE:

WINDOWS: New Alu clad wood windows in front

DOORS: New entry Door

CHIMNEY: \_\_\_\_\_

TRIM: PAINT

SIDING: PAINT

ROOFING: New Roof - metal corr - zine grey

GUTTERS: \_\_\_\_\_

GARAGE: \_\_\_\_\_

PORCH: \_\_\_\_\_

PLEASE INDICATE IF THE BUILDING IS CLASSIFIED BY THE CITY AS ONE OF THE FOLLOWING (IF UNSURE, PLEASE ASK CITY PLANNER OR REVIEW COMMITTEE CHAIR):

DESIGNATED CITY LANDMARK (TALNO \_\_\_\_\_)

NATIONAL REGISTER OF HISTORIC PLACES, (YEAR LISTED: \_\_\_\_\_)

LISTED ON TALENT'S "SURVEY OF HISTORICAL/CULTURAL RESOURCES" (PLEASE INDICATE RANKING BELOW):

PRIMARY, TALNO \_\_\_\_\_

NON-CONTRIBUTING (H), TALNO \_\_\_\_\_

SECONDARY, TALNO \_\_\_\_\_

NON-HISTORIC NON-CONTRIBUTING, TALNO \_\_\_\_\_

CONTRIBUTING, TALNO \_\_\_\_\_



Review form		Applicant's narrative for <u>existing buildings</u>
	<p><i>for Committee use only</i></p> <p><b>M</b> = Meets stds. <b>NM</b> = Nearly meets stds. <b>DM</b> = Does not meet stds.</p>	<p>In the spaces directly below, please explain details of how your submitted plans meet each Old Town Design Standard under Section 1, "Remodeling Existing Structures," even if already shown on plans. Address only those items that you plan to change from the existing structure, specifying changes in size, materials or locations. Be sure to refer to the Old Town Design Standards when planning your project and completing this part of the form.</p>
<p><b>Standard 1: Original Elements</b></p> <p>A. Doors</p>	M NM DM	<i>Per requirements panel exterior door</i>
B. Windows	M NM DM	<i>Per requirements wood-metal clad single hung</i>
C. Chimneys	M NM DM	
D. Skylights	M NM DM	
E. Gutters	M NM DM	
F. Architectural Elements	M NM DM	
G. Siding	M NM DM	
H. Weatherization & Energy Conservation	M NM DM	



<b>Standard 2: Front-Facing Presentation</b> A. Skylights	M NM DM	
B. Roof vents	M NM DM	
C. Plumbing vents	M NM DM	

REVIEWER'S ADDITIONAL COMMENTS:

REVIEWER'S NAME: \_\_\_\_\_

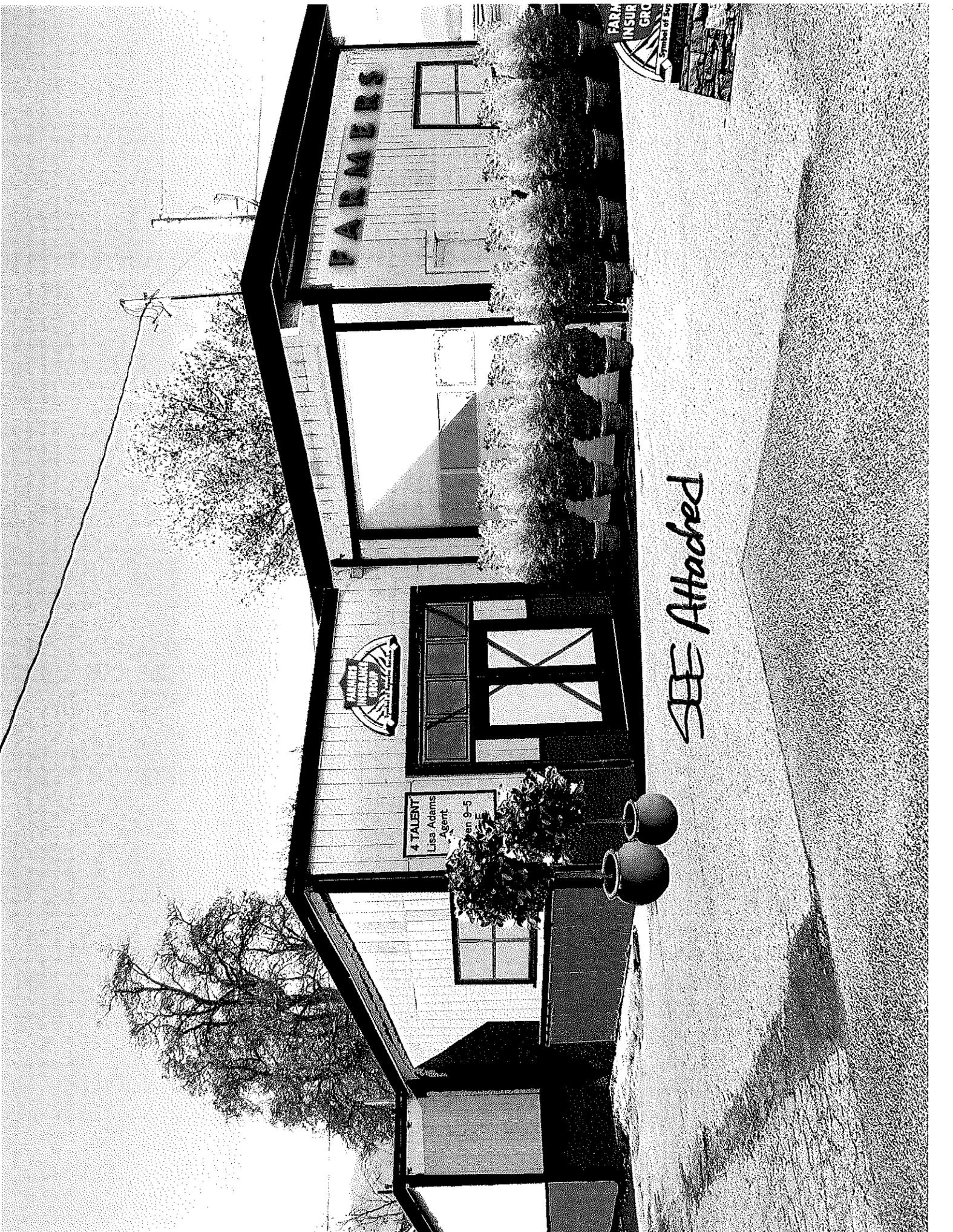
**NOTE ON APPLICABILITY**

Except in specific situations noted in the full set of Standards, Standards shall apply equally to all projects with the Old Town District.

Applicants seeking variance from these Standards must demonstrate to the review body that compliance would result in an unnecessary and unavoidable hardship. Variances from the Standards will not be allowed unless such hardship is adequately demonstrated and proven by the applicant.

These standards apply to exterior renovations affecting more than 25 percent of the exterior visible from the public right-of-way.

In addition, the Old Town District Design Standards shall supersede the applicable standards in the "Residential Development Standards" (Ordinance No. 458) when applied to new construction in the Old Town District.



*SEE Attached*

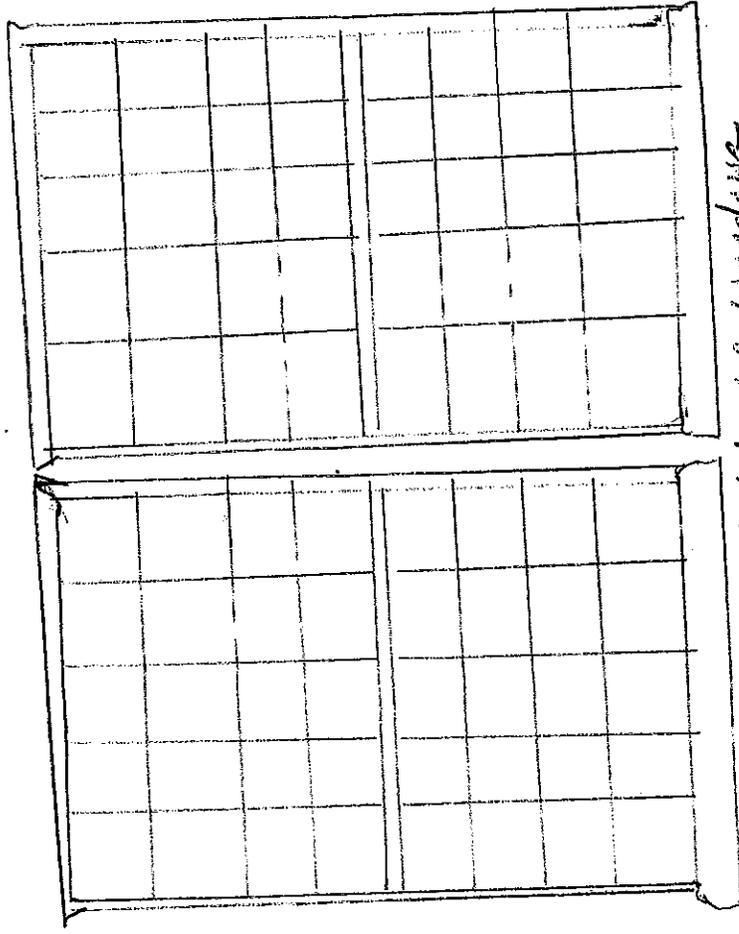
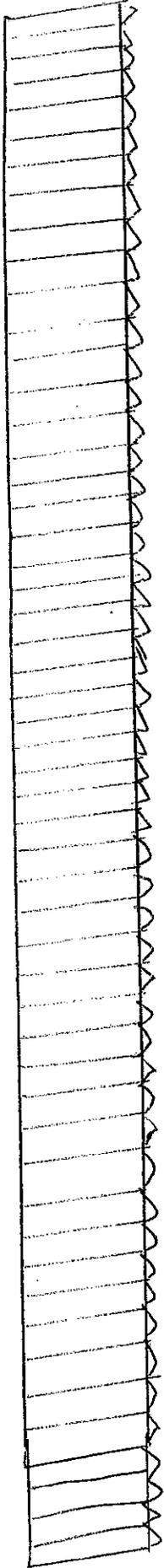
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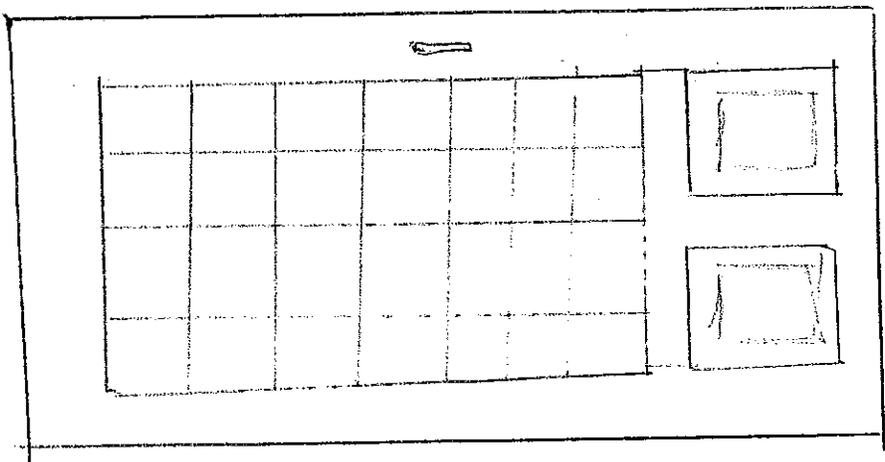
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Lisa Adams  
Agent  
Mon 9-5

FARM  
INSUR  
GROUP  
Symbol of Excellence

AWNING  
CORR  
METAL  
ROOFING  
ZINC  
SPRAY  
COLOR



wood elect metal windows  
1:5-2  
21x36  
single hung



Door  
single  
50%+ windows

Applicant LISA ALMIII ->  
160 N Pacific Hwy  
Talent, OR

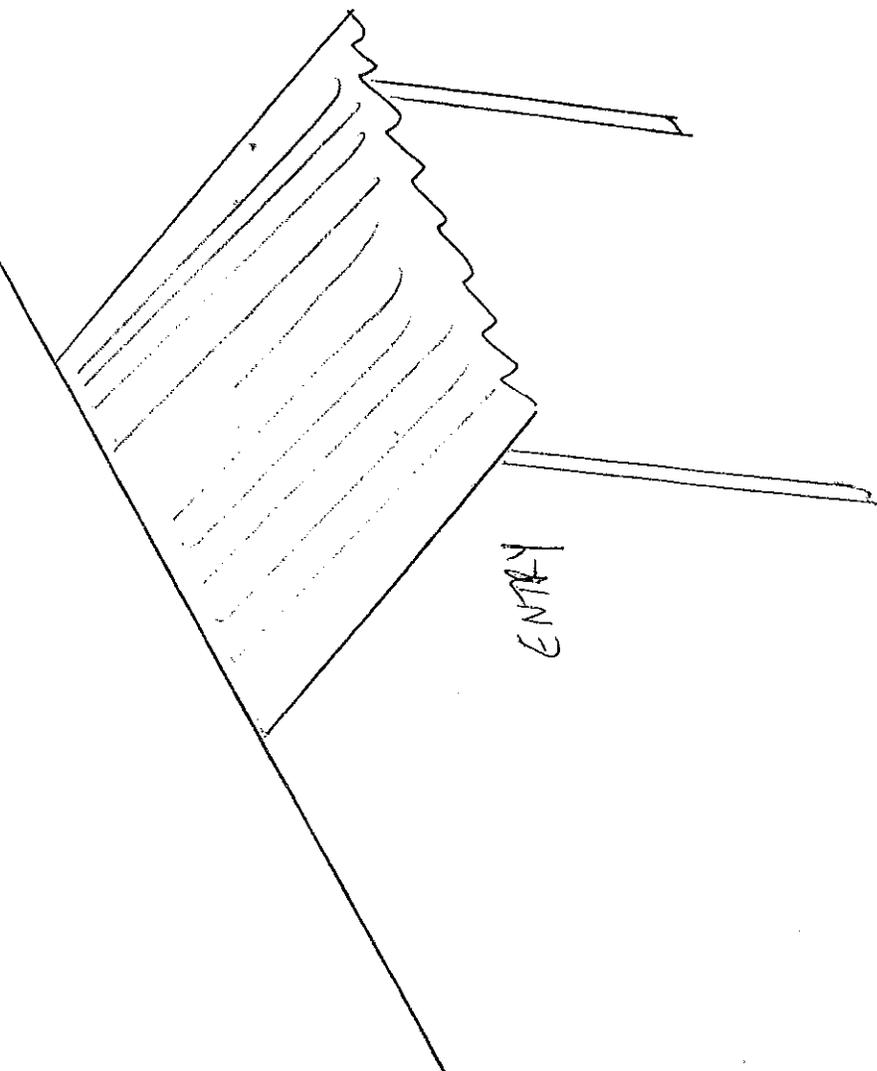
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- new paint tan/brown
- new metal roof - zinc grey
- 2 new wood clyd metal windows

2 Talent Ave 381w23 Lot 2400x2500



# AWNING

13 FT WIDE - 4 FT PROJECTION

APP:-  
LISA ADAMS  
160 N PACIFIC HWY  
Talent OR  
31535-6161

2 Talent Ave  
381W23  
Lots 2400 + 2500